REPLACE KITCHEN FLOORING (3RD FLOOR) WESTERN RECEPTION DIAGNOSTIC CORRECTIONAL CENTER ST. JOSEPH, MISSOURI



OWNER: STATE OF MISSOURI

MICHAEL L. PARSON,

GOVENOR

DEPARTMENT OF CORRECTIONS

PROJECT OFFICE OF ADMINISTRATION
MANAGEMENT: DIVISION OF FACILITIES

MANAGEMENT,

DESIGN AND CONSTRUCTION

DESIGNER: INTERNATIONAL ARCHITECTS ATELIER

912 BROADWAY BLVD, SUITE 300

KANSAS CITY, MO 64105 PH: 816 471 6522 W: I-A-A.COM

ARCHITECT: MAJID AMIRAHMADI E: MAJID@I-A-A.COM

CERTIFICATE OF AUTHORITY NO. 000582

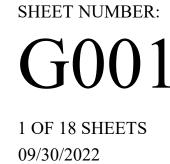
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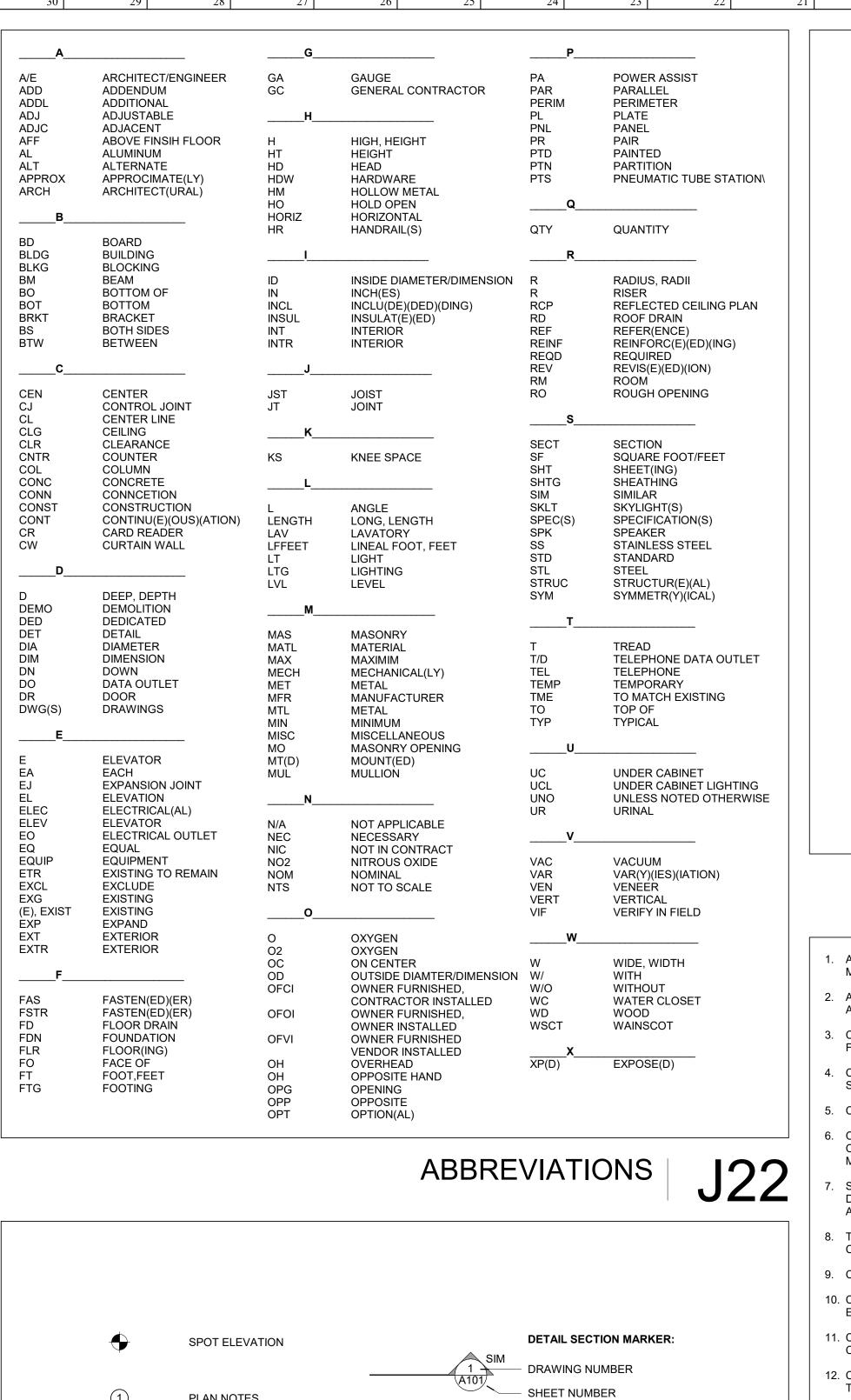
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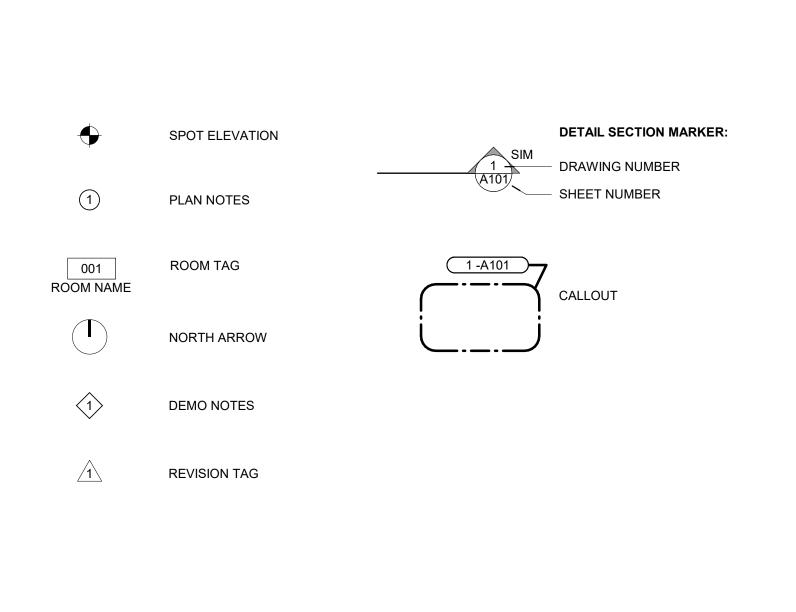
PROJECT NUMBER: C2001-01

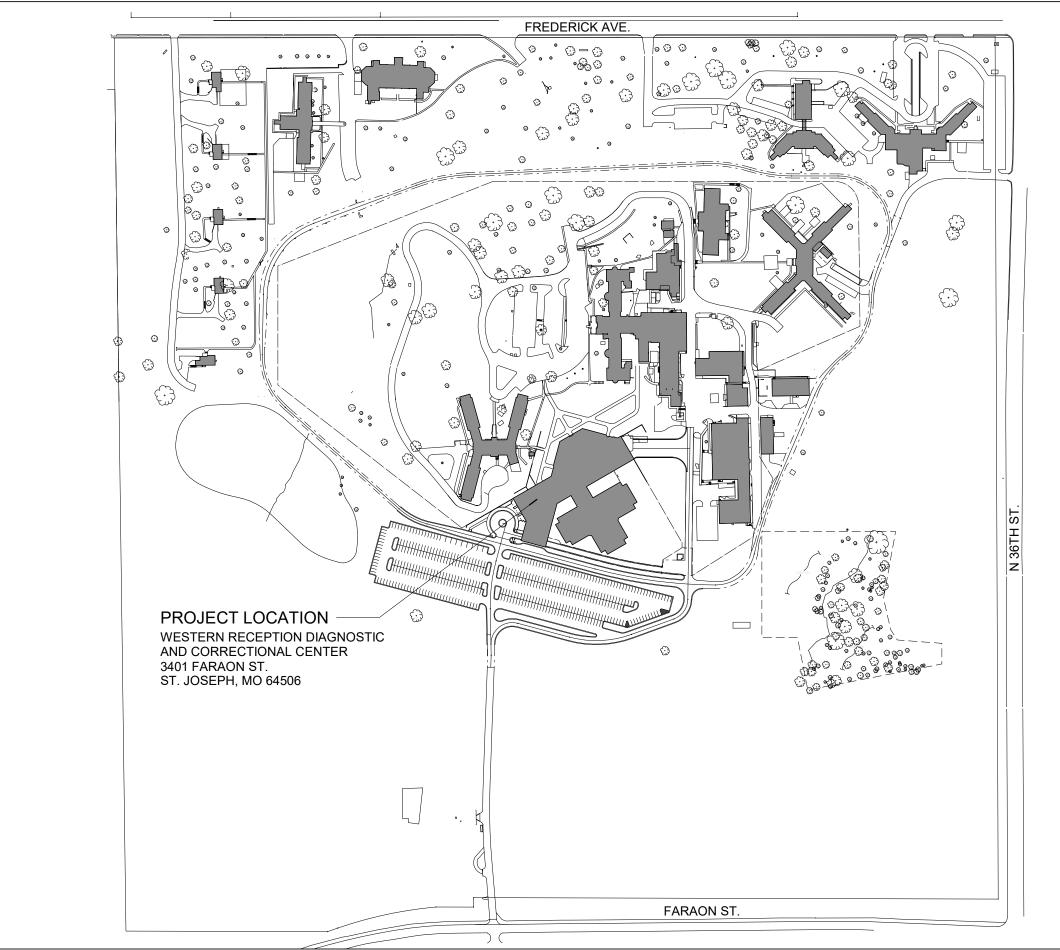
ASSET NUMBER: 9327012053

SITE NUMBER: 7012











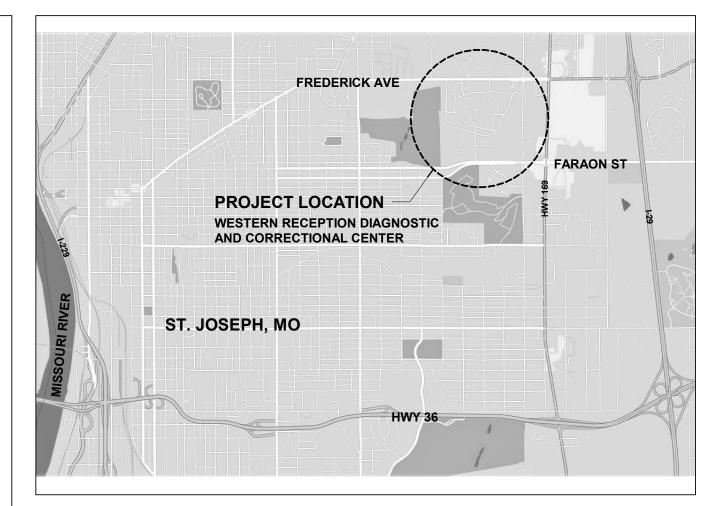
- ALL APPLICABLE CODES AND STANDARDS COMPLIANCE SHALL BE MET, AS ADVISED BY THE ARCHITECT IN CONSULTATION WITH THE STATE OF MISSOURI'S DIVISION OF FACILITIES MANAGEMENT, DESIGN & CONSTRUCTION.
- ALL DIMENSIONS ARE NOMINAL AND ARE FINISH TO FINISH OR FACE TO FACE OF CONSTRUCTION UNLESS OTHERWISE NOTED. THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS. ANY DISCREPANCIES BETWEEN THE EXISTING CONDITIONS AND DRAWINGS SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT PRIOR TO CONSTRUCTION.
- CONTRACTOR SHALL USE EXTREME CARE AND TAKE PRECAUTION DURING CONSTRUCTION SO AS NOT TO DAMAGE EXISTING ADJACENT FACILITIES. ANY DAMAGE DONE TO EXISTING FACILITIES DURING CONSTRUCTION SHALL BE REPAIRED TO THE SATISFACTION OF THE OWNER'S REPRESENTATIVE WITHOUT ADDITIONAL COST TO THE OWNER.
- CONTRACTOR SHALL PROTECT EXISTING FINISHES AND ANY OTHER ITEMS WHICH MAY BE DAMAGED BY THE CONSTRUCTUION PROCESS. UNLESS OTHERWISE NOTED, CONTRACTOR SHALL PATCH OR REPAIR AND PAINT ALL ADJACENT SURFACES AFFECTED BY NEW CONSTRUCTION OR DEMOLITION.
- 5. CONTRACTOR SHALL REMOVE ALL TRASH AND DEBRIS FROM THE SITE ON A DAILY BASIS. COORDINATE DUMPSTER LOCATION AND ACCESS WITH THE OWNER'S REPRESENTATIVE.
- OWNER WILL BE CONTINUALLY OCCUPYING THE BUILDING. NOTIFICATION 72 HOURS IN ADVANCE MUST BE GIVEN FOR ANY WORK THAT WILL AFFECT THEIR NORMAL WORKING OPERATIONS. CONTRACTOR MAY BE REQUIRED TO WORK AROUND OWNER'S SCHEDULE AND NEED; THEREFORE SOME COORDINATION OR PHASING MAY BE REQUIRED WITH MINIMUM DISRUPTION OF THE BUILDING OCCUPANTS.
- SHOULD ANY DOUBT OR QUESTION ARISE WITH RESPECT TO THE TRUE MEANING OF THE DRAWINGS OR SPECIFICATIONS, REFERENCE SHALL BE MADE TO THE ARCHITECT WHOSE DECISIONS THEREON SHALL BE FINAL AND CONCLUSIVE. NO ALLEGED ORAL ADMISSION, CONDONATION, OR INADVERTENT NEGLECT ON THE PART OF THE ARCHITECT WILL BE ACCEPTED AS AN EXCUSE FOR INFERIOR WORK.
- THE CONTRACTOR IS RESPONSIBLE FOR TEMPORARY DIRECTIONAL SIGNAGE AS WELL A CONSTRUCTION SIGNAGE NOTIFYING BUILDING OCCUPANTS OF CONSTRUCTION LIMITS. COORDINATE SIGNAGE WITH OWNER'S REPRESENTATIVE.
- CONTRACTOR SHALL NOT ENGAGE IN ANY ACTIVITY WHICH MAY ENDANGER THE BUILDING OCCUPANTS.
- 10. CONTRACTOR IS REQUIRED PRIOR TO THE START OF CONSTRUCTION TO SURVEY THE AREAS WHICH WOULD BE AFFECTED BY THE CONSTRUCTION FOR DOCUMENTATION OF
- 11. CONTRACTOR IS REQUIRED TO PROVIDE EQUIPMENT AND TOOLS REQUIRED OR NECESSARY FOR THE OWNER'S REPRESENTATIVE, ARCHITECT, OR ENGINEER TO REVIEW THE CONSTRUCTION IN PROGRESS.
- 12. CONTRACTOR SHALL AT ALL TIMES ABIDE BY THE RESTRICTIONS AND REGULATIONS OF THE DEPARTMENT OF CORRECTIONS REGARDING CONDUCT AND SECURITY MEASURES AT THE PROJECT SITE.
- 13. CONTRACTOR'S SECURITY CLEARANCE FOR ACCESS TO THE FACILITY SHALL BE ARRANGED WITH THE DOC AND OA-FMDC.

GENERAL NOTES

- PRIOR TO COMMENCING DEMOLITIONWORK, THE CONTRACTOR SHALL VERIFY LOCATIONS OF ALL UTILITIES AND MAKE PROVISIONS THAT NO INTERRUPTION OF SERVICES OCCURS. CONTRACTOR SHALL COMPLETELY REMOVE ALL DEMOLISHED MATERIALS FROM THE SITE. ALL DEMOLISHED MATERIALS WILL BECOME PROPERTY OF THE CONTRACTOR UNLESS THEY ARE TO BE REUSED, OR AS OTHERWISE NOTED OR INSTUCTED, AND TO BE DISPOSED OF LEGALLY. REMOVE DEBRIS, RUBBISH, AND OTHER MATERIALS DAILY FROM THE
- ALL MATERIALS NOT REQUIRED TO BE REMOVED FOR THE EXECUTION OF THE PROJECT SHALL BE LEFT IN PLACE AND PROTECTED FROM DAMAGE DURING CONSTRUCTION. ANY ITEMS DAMAGED DUE TO THIS PROJECT SHALL BE RESTORED TO THEIR ORIGINAL CONDITION AT THE CONTRACTOR'S EXPENSE.
- 4. THE OWNER ASSUMES NO RESPONSIBILITY FOR ACTUAL CONDITIONS OF ITEMS TO BE DEMOLISHED.

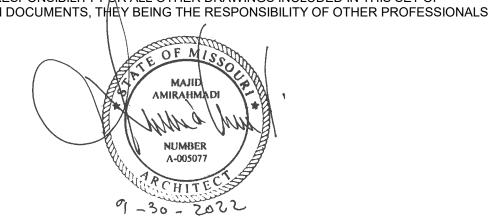
CONSTRUCTION SITE. ALL REMOVED MATERIALS SHALL BE DISPOSED OF IN A LEGAL MANNER.

- 5. CUT AND REMOVE PORTIONS OF EXISTING CONSTRUCTION AS REQUIRED TO ALLOW FOR PROPER INSTALLATION OF NEW CONSTRUCTION.
- 6. AT ANY TIME OF CONSTRUCTION, IF ANY CONTRACTOR DISCOVERS HAZARDOUS MATERIALS, STOP WORK AND NOTIFY THE OWNER IMMEDIATELY.



PROJECT LOCATION

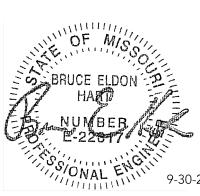
I, MAJID AMIRAHMADI, MISSOURI REGISTERED ARCHITECT, DO HEREBY ACCEPT PROFESSIONAL RESPONSIBILITY FOR THE ATTACHED ARCHITECTURAL DRAWINGS. I HEREBY DISCLAIM ANY RESPONSIBILITY FOR ALL OTHER DRAWINGS INCLUDED IN THIS SET OF



MAJID AMIRAHMADI, AIA INTERNATIONAL ARCHITECTS ATELIER

PROFESSIONAL DISCLAIMER | N1

I, BRUCE HART, MISSOURI REGISTERED ENGINEER, DO HEREBY ACCEPT PROFESSIONAL RESPONSIBILITY FOR THE ATTACHED MECHANICAL, ELECTRICAL, AND PLUMBING DRAWINGS. I HEREBY DISCLAIM ANY RESPONSIBILITY FOR ALL OTHER DRAWINGS INCLUDED IN THIS SET OF CONSTRUCTION DOCUMENTS, THEY BEING THE RESPONSIBILITY OF OTHER PROFESSIONALS.



BRUCE HART, PE IMEG CORP.

PROFESSIONAL DISCLAIMER

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STATE OF MISSOURI MICHAEL L. PARSON, GOVERNOR

MAJID AMIRAHMADI - ARCHITECT



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MEP CONSULTANT

1600 BALTIMORE, SUITE 300 KANSAS CITY, MO 64108 P: 816-842-8437

OFFICE OF **ADMINISTRATION** DIVISION OF FACILITIES MANAGEMENT, DESIGN AND **CONSTRUCTION**

DEPARTMENT OF CORRECTIONS

REPLACE KITCHEN FLOORING (3RD FLOOR) WESTERN RECEPTION DIAGNOSTIC AND CORRECTIONAL CENTER

3401 FARAON ST. ST. JOSEPH, MO 64506

PROJECT # C2001-01 ASSET # 9327012053 SITE # 7012

REVISION: BID DOCUMENTS DATE: 09/30/2022 **REVISION:**

REVISION:

CAD DWG FILE: G-002.dwg

DRAWN BY: CHECKED BY: MA DESIGNED BY: ST

SHEET TITLE:

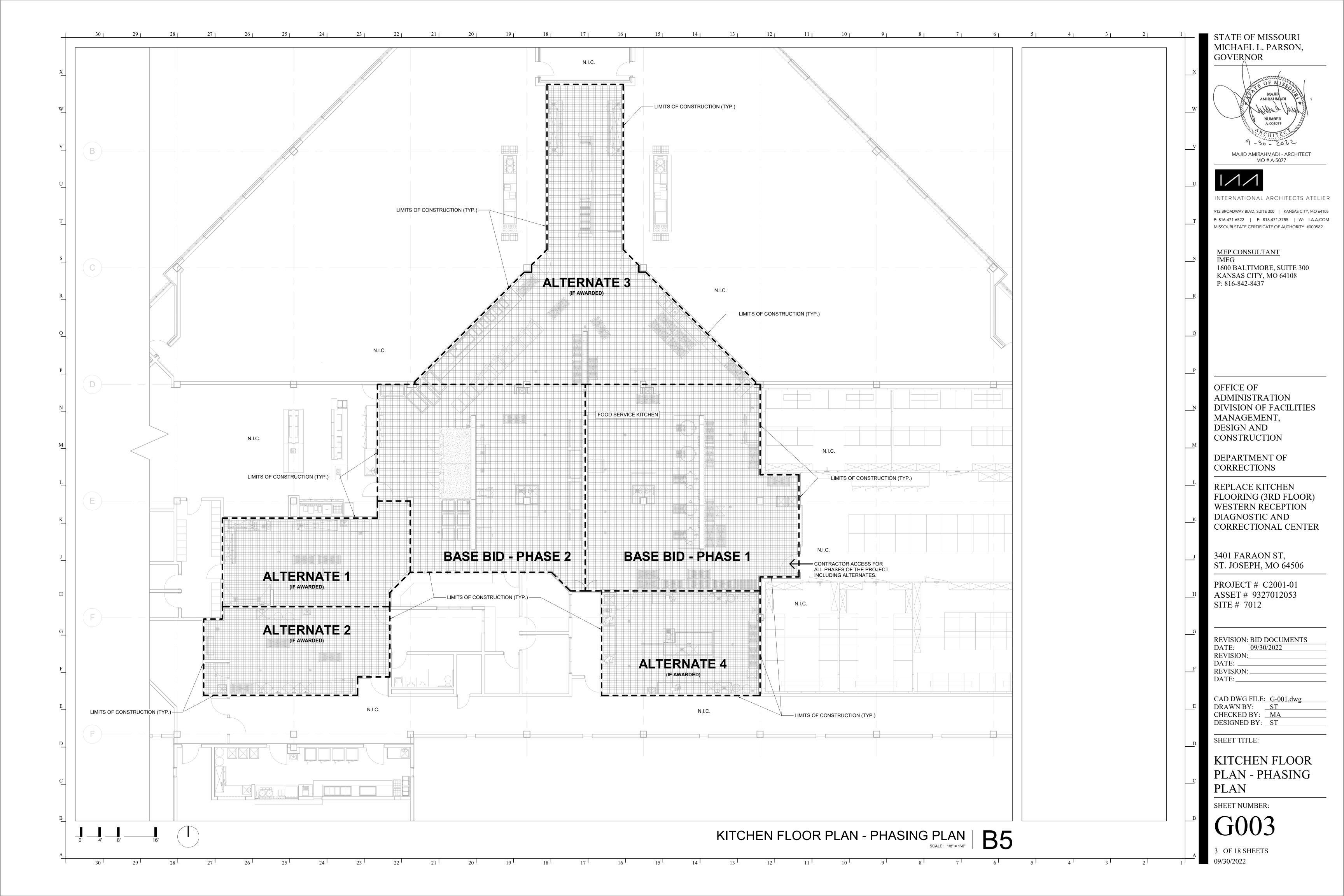
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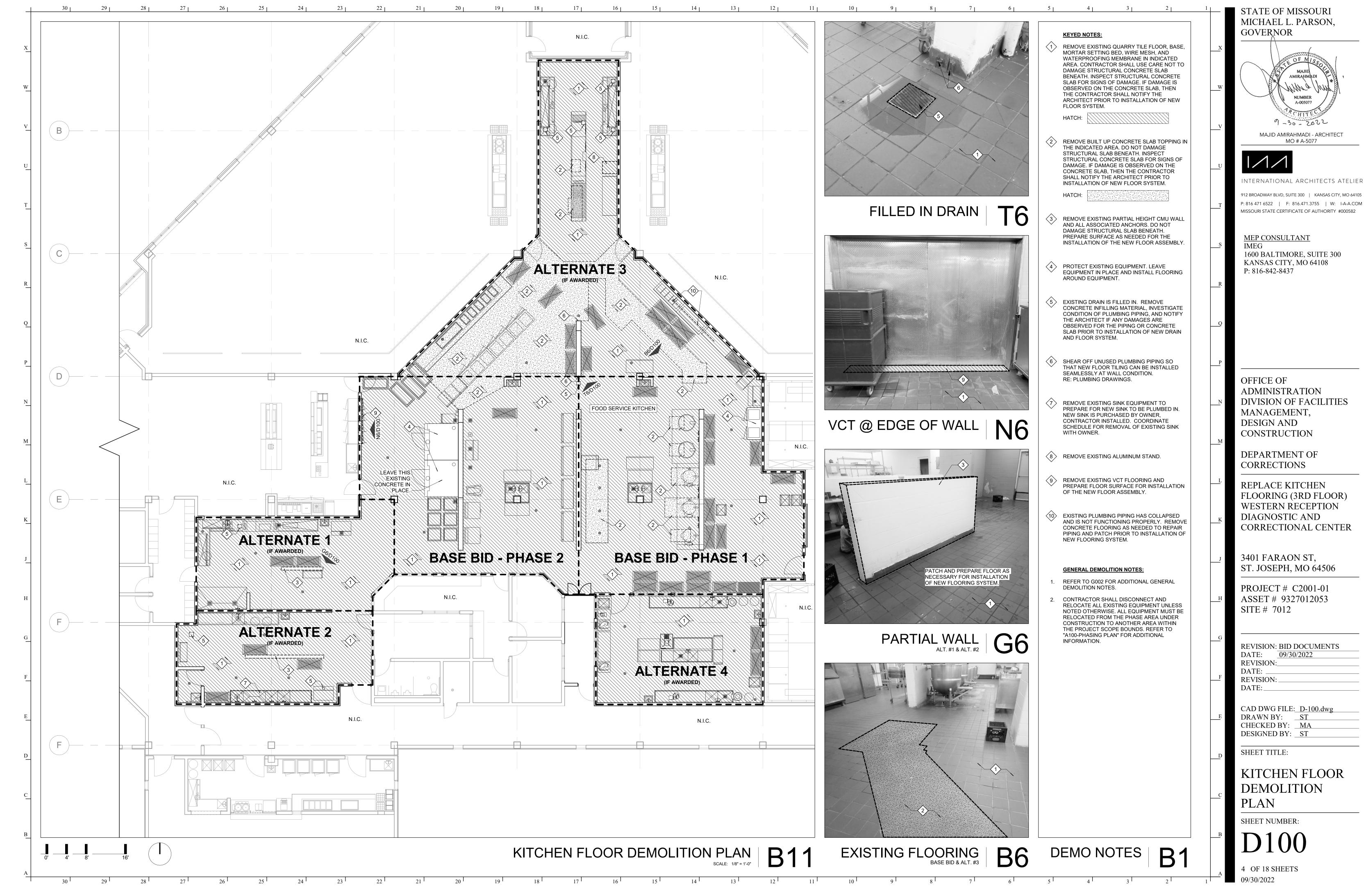
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2 OF 18 SHEETS

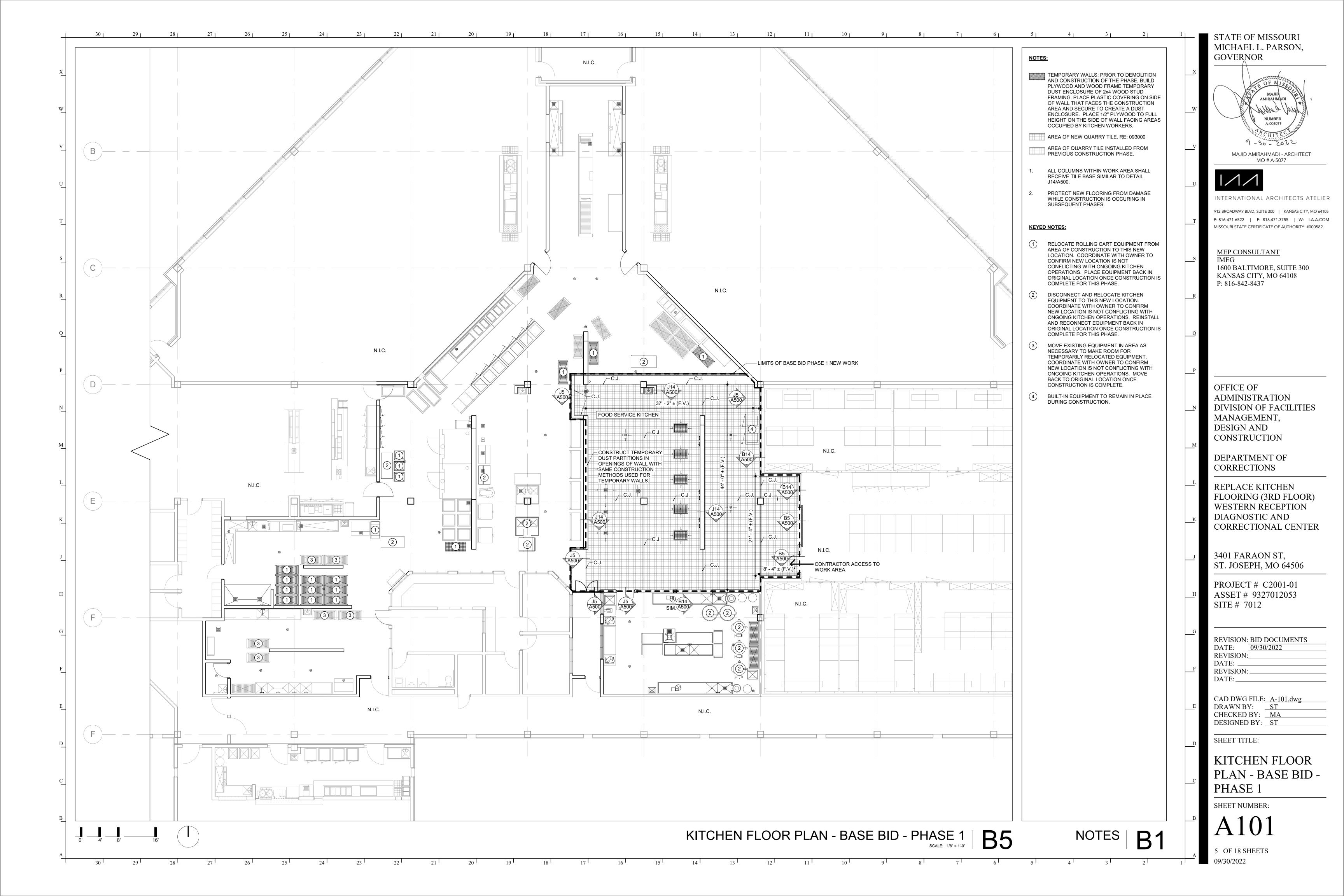
ARCHITECTURAL SYMBOLS | B22

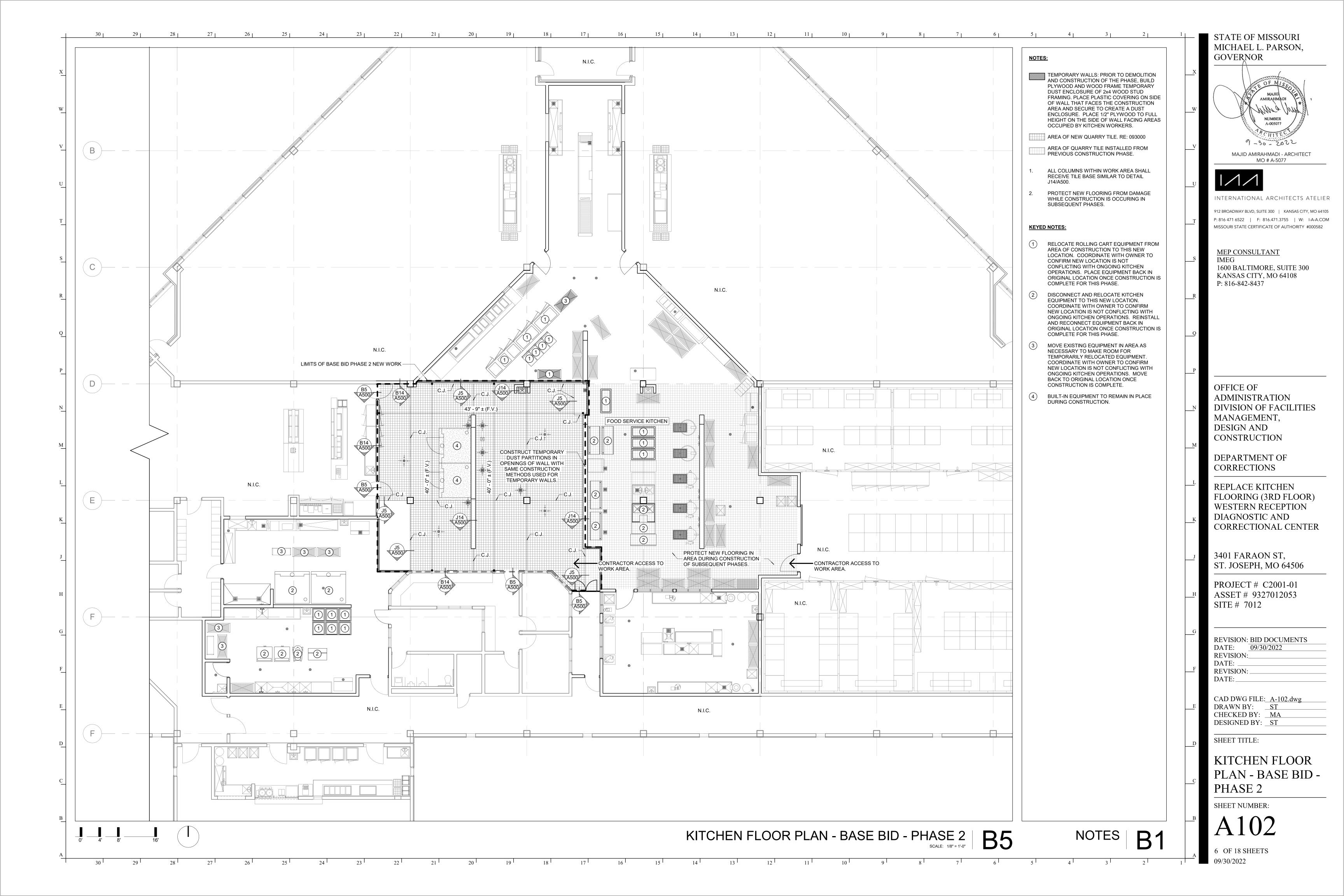
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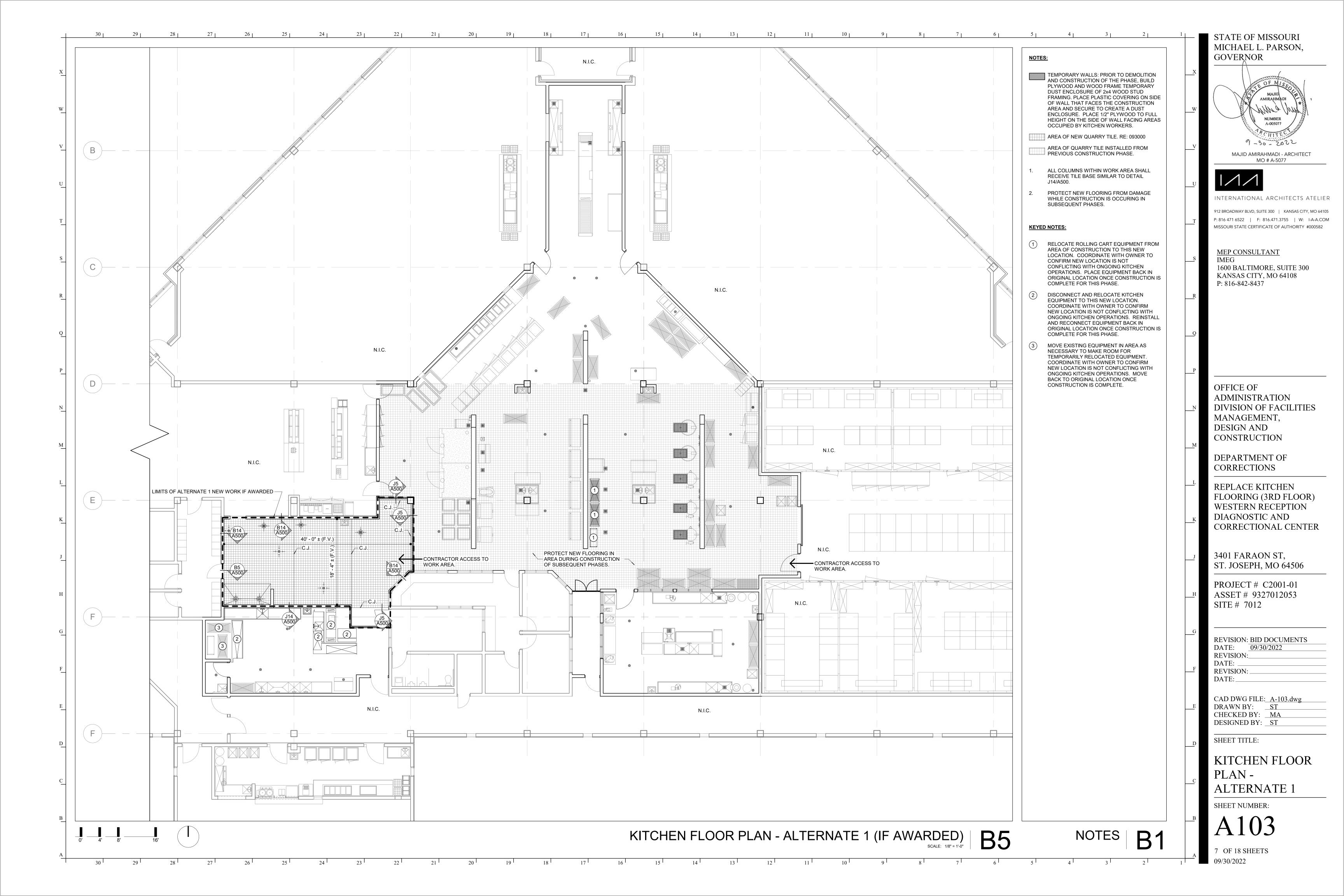


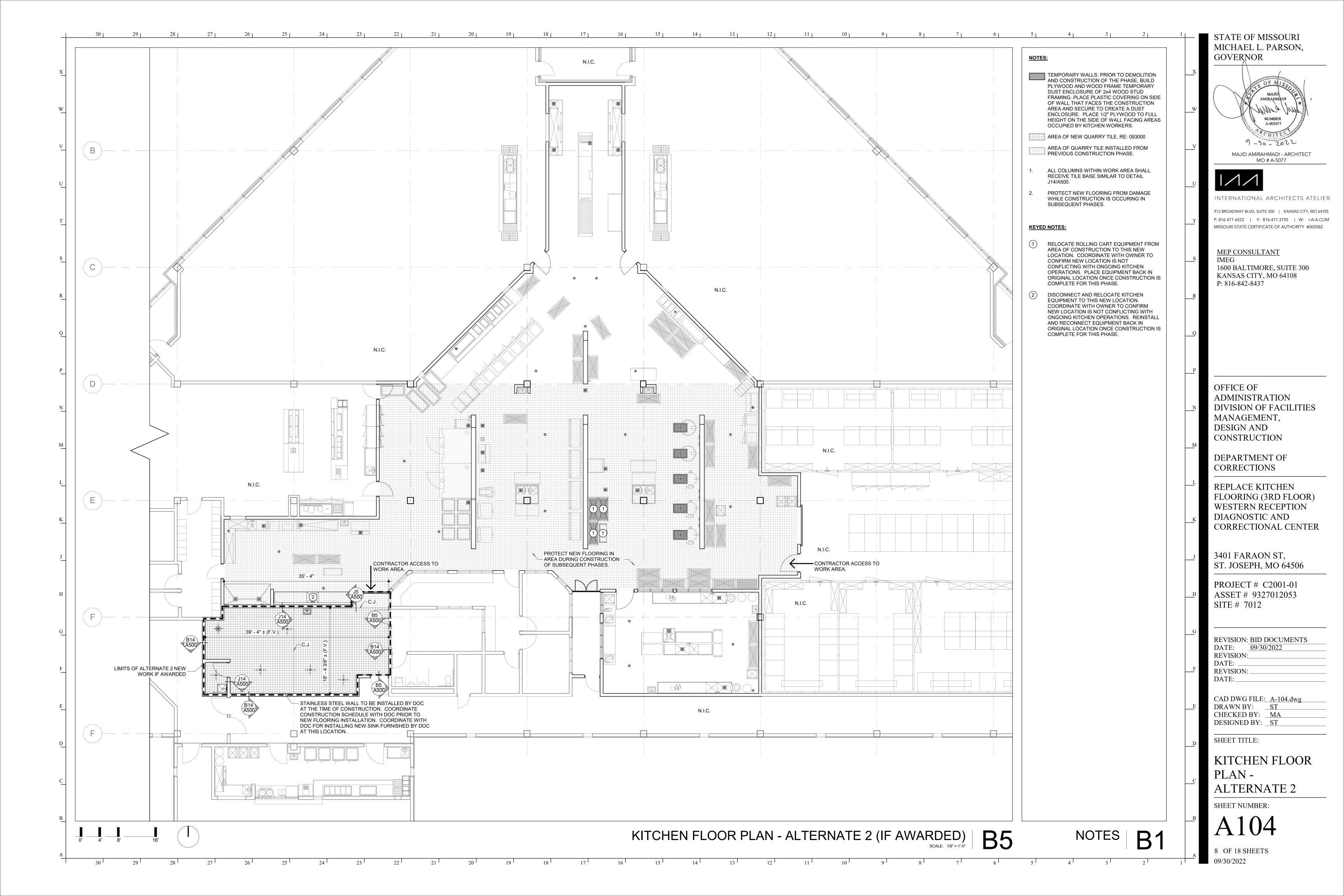


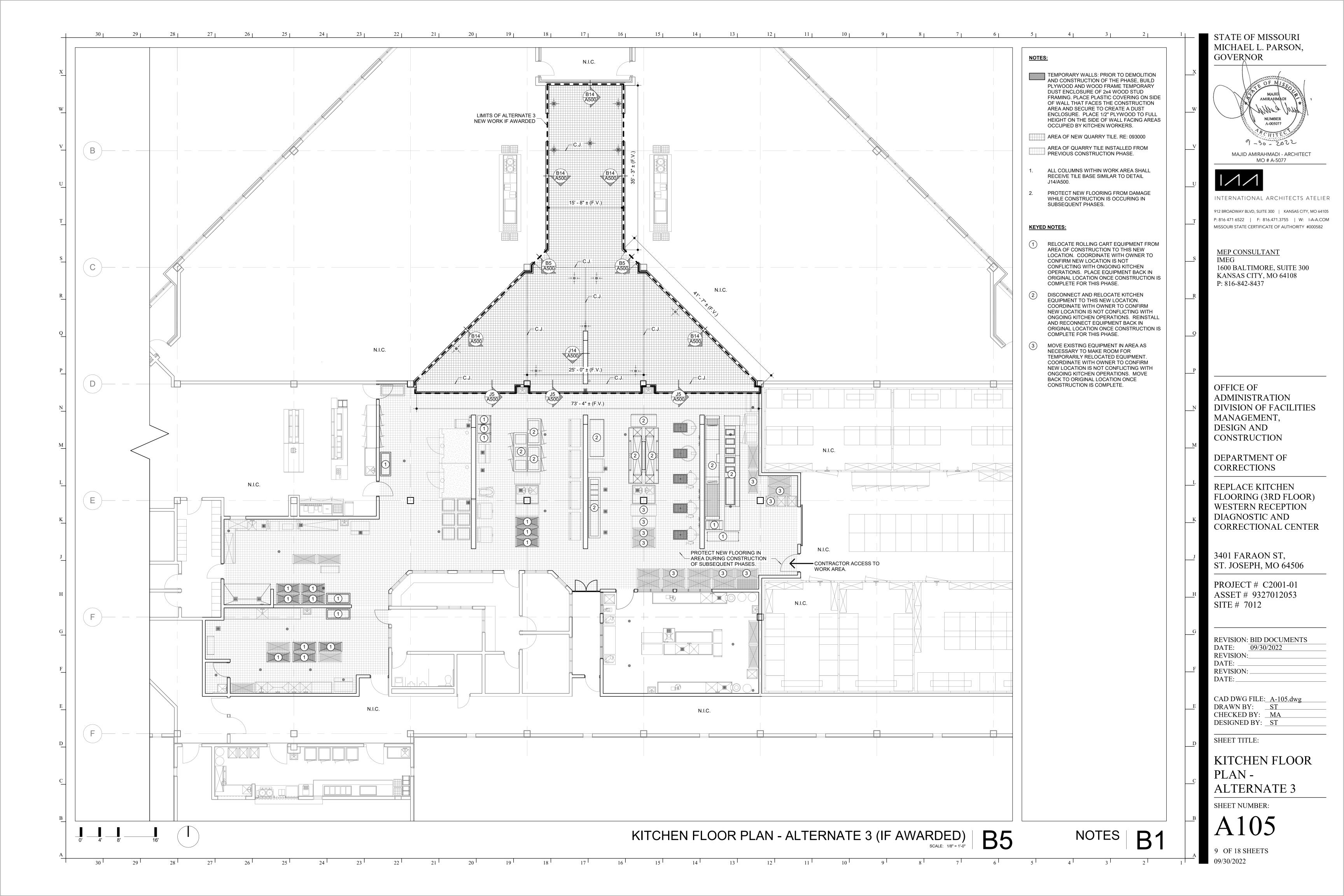
912 BROADWAY BLVD, SUITE 300 | KANSAS CITY, MO 64105 P: 816 471 6522 | F: 816.471.3755 | W: I-A-A.COM

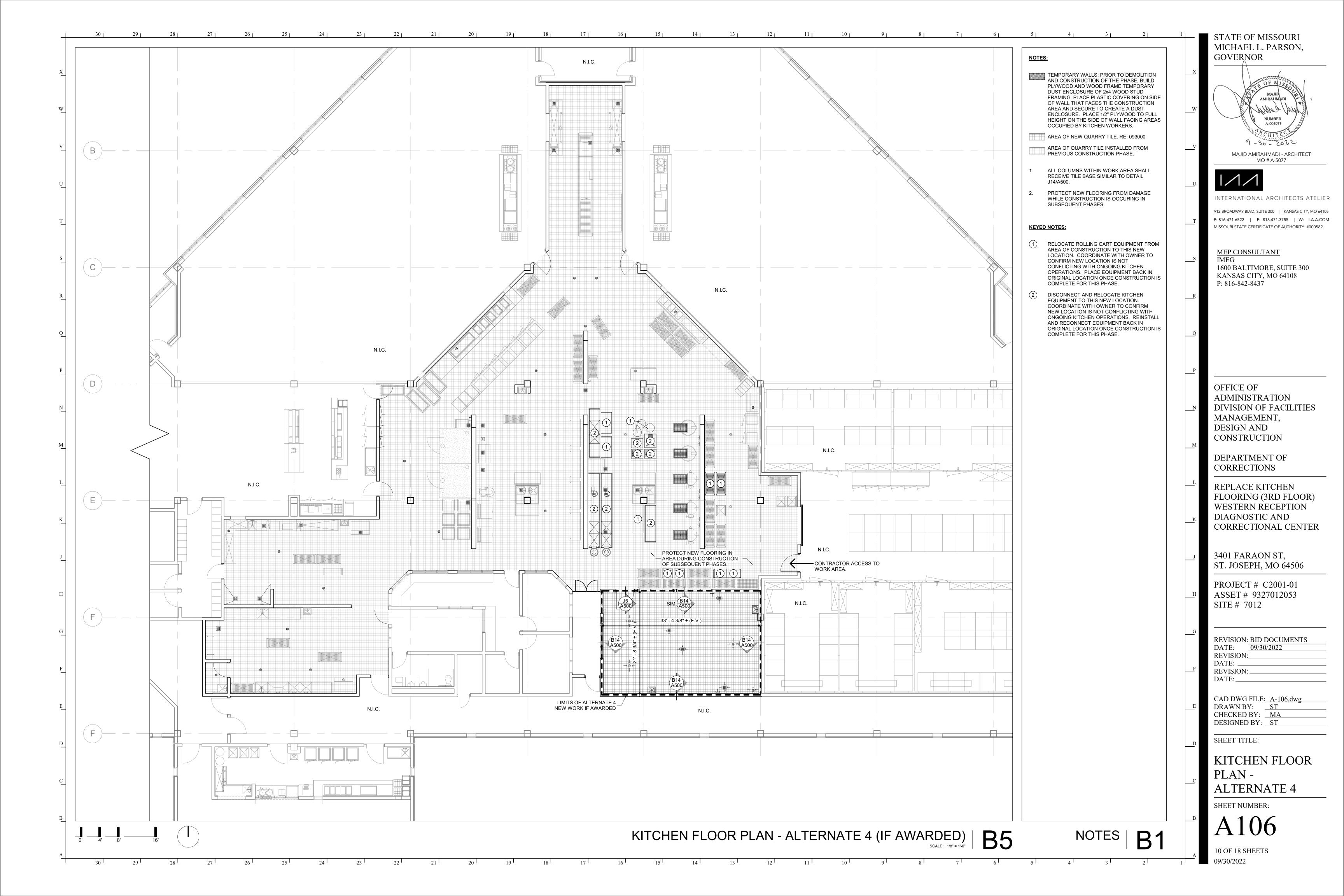


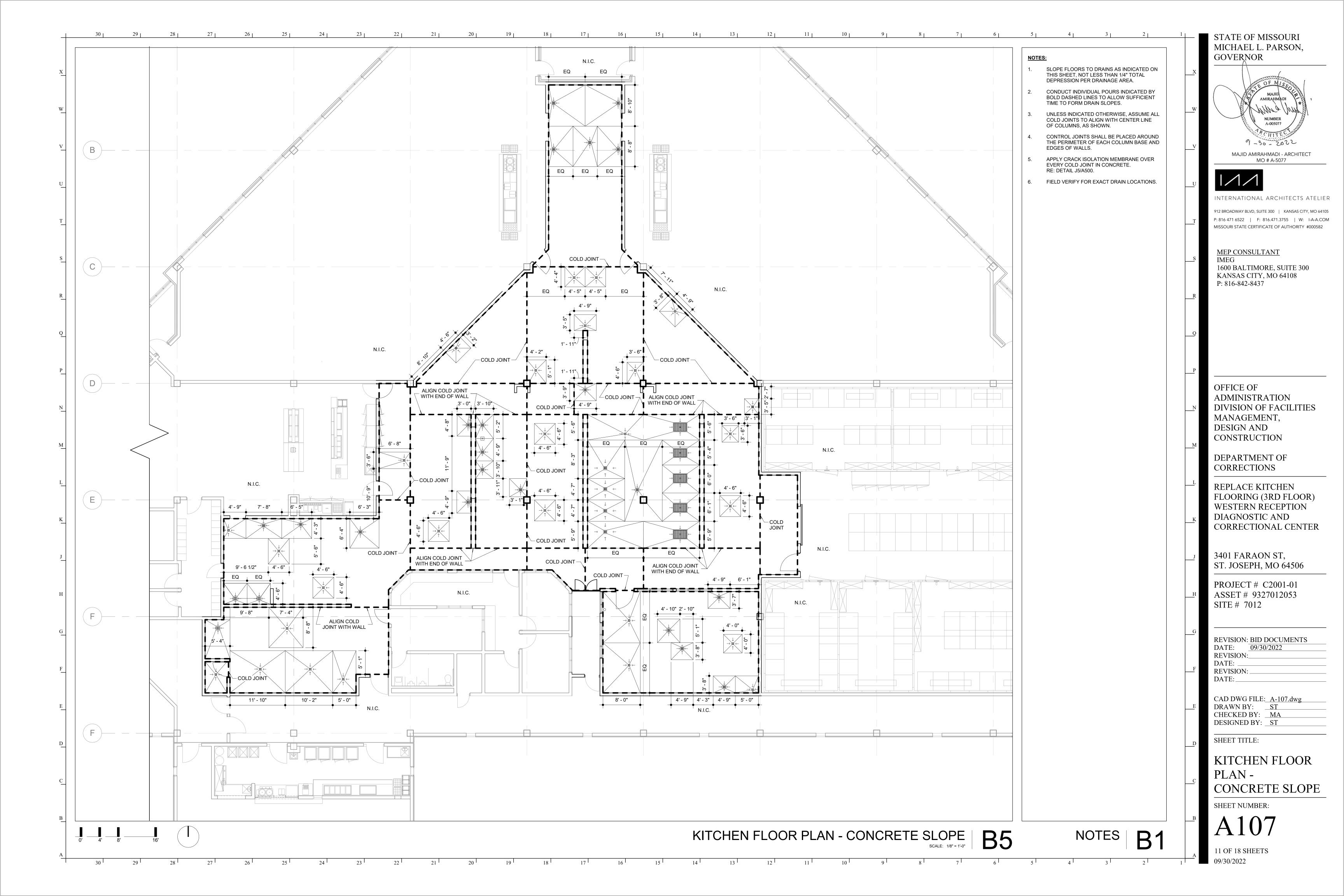


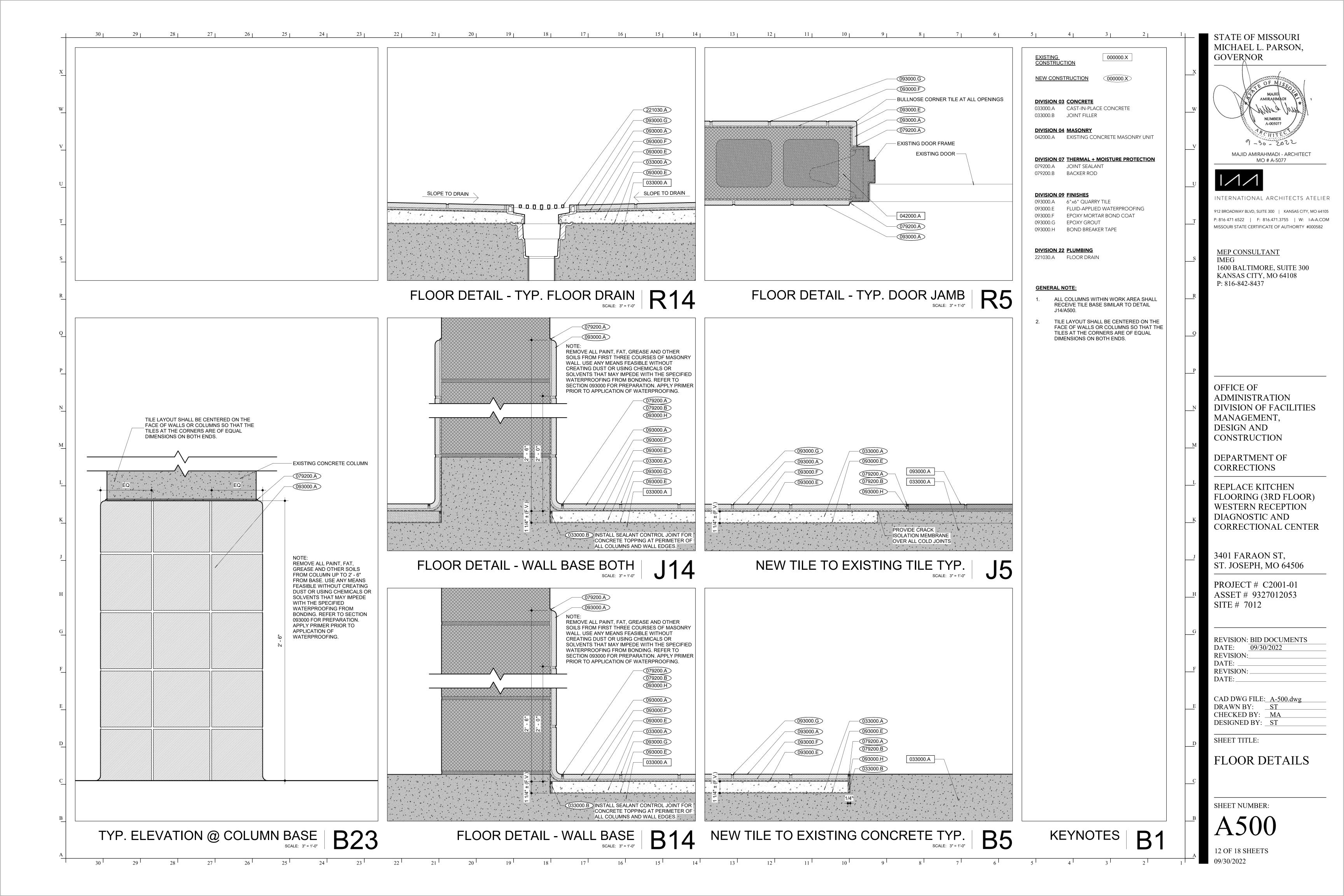


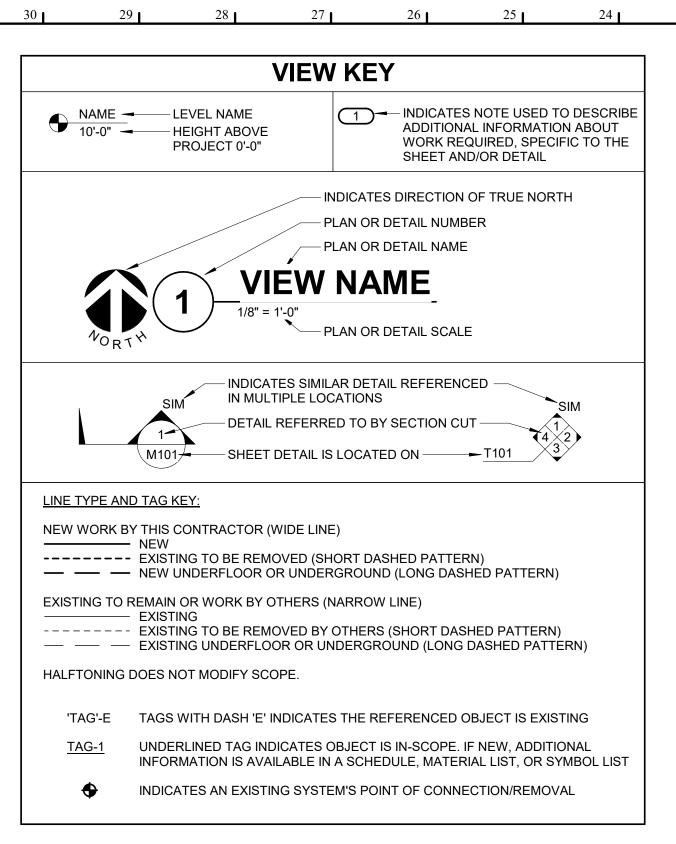












PLUMBING SLOPE REQUIREMENTS:			
	BASED ON PLUMBING CODE: IPC-201		
INTERIOR:			
SANITARY WASTE:	≤2-1/2"ø=1/4" PER FOOT ≥3"ø = 1/8" PER FOOT ≥8"ø = 1/16" PER FOOT		
GREASE WASTE:	1/4" PER FOOT		
STORM (GRAVITY):	1/8" PER FOOT		
CONDENSATE AND INDIRECT DRAINAGE:	1/8" PER FOOT		
SANITARY AND GREASE VENT:	NO SPECIFIC PITCH, PITCH TO FIXTURES		
DOMESTIC WATER:	NO SPECIFIC PITCH, PITCH TO FIXTURES		

PLUMBING ROUGH-IN SCHEDULE
NOTES: (APPLIES TO ALL PLUMBING FIXTURES LISTED BELOW)
1) SIZES SHOWN ARE MINIMUMS. LARGER SIZES SHOWN ON THE DRAWING SHALL DICTATE THE
ROUGH-IN SIZE. 2) SANITARY RISERS UP IN WALL TO FIXTURES SHALL BE A MINUMUM OF 2". 3)
DOMESTIC WATER BRANCH PIPING OUTSIDE OF THE WALL/CHASE SHALL BE A MINIMUM OF 3/4"
UNLESS NOTED OTHERWISE. ONLY THE FINAL RISE-DROP SHALL BE SMALLER. 4) FINAL SANITARY

SIZE SHALL MATCH P-TRAP SIZE (REFER TO MATERIAL LIST).						
TAG NAME	DESCRIPTION	COLD WATER	HOT WATER	SANITARY	VENT	
FD-1	FLOOR DRAIN			2"	1 1/2"	
FD-2	FLOOR DRAIN			3"	1 1/2"	
FS-1	FLOOR SINK			3"	1 1/2"	
FS-2	FLOOR SINK			4"	2"	
TD-1	TROUGH DRAIN	-	-	3"	2"	

NOT ALL SYMBOLS MAY APPLY.			
SYMBOL:	DESCRIPTION:		
——AV——	NATURAL GAS		
——GRV——	GAS REGULATOR VENT		
—GSAN—	SANITARY DRAINAGE (GREASE SANITARY DRAINAGE)		
——GV——	GREASE VENT		
——HW——	HOT WATER - POTABLE		
—HWC—	HOT WATER CIRCULATING - POTABLE		
—HW140—	HOT WATER - POTABLE NUMBER INDICATES TEMP		
—HWC140— ——SAN——	HOT WATER CIRC POTABLE NUMBER INDICATES TEMP SANITARY DRAINAGE		
V	VENT		
	DIDE CONTINUATION		
	PIPE CONTINUATION PIPE CAP		
	PIPE DOWN		
	PIPE UP OR UP/DOWN		
_	PIPE SERVING FIXTURE ON FLOOR ABOVE		
—— о FD	(EXAMPLE: FD = FLOOR DRAIN)		
	PITCH PIPE IN DIRECTION		
	DIRECTION OF FLOW IN PIPE		
•	ROUTE TO DRAIN		
<u>RD-1</u> 6"(1000)	ROOF DRAIN PROPERTIES SYMBOL SIZE (ROOF SQ. FT.)		
—— ı ——	DIELECTRIC CONNECTION		
	UNION/FLANGE		
—⋈—	SHUTOFF VALVE NORMALLY OPEN		
GPM_	SHUTOFF VALVE NORMALLY CLOSED		
—— 3	BALANCING VALVE (NUMBER INDICATES GPM)		
→	CHECK VALVE		
MÄÄM	BACKFLOW PREVENTER		
	SOLENOID VALVE		
*	SAFETY/RELIEF VALVE		
YACUUM BREAKER			
— ⋈ —®	PRESSURE GAUGE (FURNISHED WITH BALL VALVE)		
─ ₩-₽	PRESSURE SENSOR (FURNISHED WITH BALL VALVE)		
	TEMPERATURE SENSOR WITH WELL		
	THERMOMETER WITH WELL (DIAL TYPE)		
	THERMOMETER WITH WELL (FILLED TYPE)		
 	REDUCER - REFERENCE SPECIFICATION FOR CONCENTRIC/ECCENTRIC AND FOT/FOB		
	PRESSURE REDUCING VALVE (LIQUID/GAS) PUMP		
\(\rightarrow\)	METER		
	ALIGNMENT GUIDE		
× —	PIPE ANCHOR		
<u>EJ-#</u> (#.#")	EXPANSION JOINT #.#" IS THE EXPANSION TRAVEL INCHES		
⊕ ₹	AIR ADMITTANCE VALVE		
⊕ ₹	AIN ADIVITI TANCE VALVE		

PLUMBING SYMBOL LIST

PLUMBING ABBREVIATION KEY		
ABBR:	DESCRIPTION:	
AD	ACCESS DOOR	
AFF	ABOVE FINISHED FLOOR	
BFP	BACKFLOW PREVENTER	
ВТ	BATHTUB	
СВ	CATCH BASIN	
CI	CAST IRON	
CO	CLEANOUT	
CS	CLINICAL SINK	
DB	DIALYSIS BOX	
DF	DRINKING FOUNTAIN	
DI	DUCTILE IRON	
Е	EXISTING	
EE	EMERGENCY EYEWASH	
ES	EMERGENCY SHOWER	
ESE	EMERGENCY SHOWER/EYEWASH	
EWC	ELECTRIC WATER COOLER	
FCO	FLOOR CLEANOUT	
FD	FLOOR DRAIN	
FM	FLOW METER	
FS	FLOOR SINK	
GD	GARBAGE DISPOSER	
GI	GREASE INTERCEPTOR	
НВ	HOSE BIBB	
I.E.	INVERT ELEVATION (FOR REFERENCE ONLY)	
LAV	LAVATORY	
MB	MOP BASIN	
MH	MANHOLE	
MV	MIXING VALVE	
NIC	NOT IN CONTRACT	
NT	NEUTRALIZATION TANK	
os	OIL SEPARATOR	
RD	ROOF DRAIN	
SCCR	SHORT CIRCUIT CURRENT RATING	
SH	SHOWER	
SK	SINK	
SS	SERVICE SINK	
TD	TRENCH DRAIN	
TP	TRAP PRIMER	
TYP	TYPICAL	
UR	URINAL	
VTR	VENT THROUGH ROOF WATER CLOSET	
WC		
WCO	WALL CLEANOUT	
WF	WASH FOUNTAIN	
WH	WATER HEATER	
WMF	WASHING MACHINE FIXTURE	
WM	WATER METER	
WS	WATER SOFTENER	
UB	UTILITY BOX	
UON	UNLESS OTHERWISE NOTES	
YCO	YARD CLEANOUT	

PLUMBING MATERIAL LIST TAG NAME MANUFACTURER AND MODEL FD-1 | FLOOR DRAIN - CAST IRON BODY, NICKEL BRONZE ADJUSTABLE TOP, 6" ROUND, 2" BOTTOM OUTLET, FLASHING COLLAR FLOOR DRAIN - ZURN (Z-415), SMITH (2005), WADE (1100), JOSAM (30000), WATTS (FD-100), MIFAB (F1100), SUN (FD1000) TRAP SEAL - 2", PLASTIC HOUSING WITH FLEXIBLE DIAPHRAGM, SEALING GASKETS, RECLOSES AND SEALS WHEN DISCHARGE IS COMPLETED, ASSE 1072. TRAP SEAL - SURE SEAL (SS), PROVENT (TRAP GUARD), SMITH (QUAD CLOSE), GREEN DRAIN, MIFAB (MI-GARD) FD-2 FLOOR DRAIN - CAST IRON BODY, NICKEL BRONZE ADJUSTABLE TOP, 6" ROUND, 3" BOTTOM OUTLET, FLASHING COLLAR. FLOOR DRAIN - ZURN (Z-415), SMITH (2005), WADE (1100), JOSAM (30000), WATTS (FD-100), MIFAB (F1100), SUN (FD1000) TRAP SEAL - 3", PLASTIC HOUSING WITH FLEXIBLE DIAPHRAGM, SEALING GASKETS, RECLOSES AND SEALS WHEN DISCHARGE IS COMPLETED, ASSE 1072. TRAP SEAL - SURE SEAL (SS), PROVENT (TRAP GUARD), SMITH (QUAD CLOSE), GREEN DRAIN, MIFAB (MI-GARD) FLOOR SINK - CAST IRON BODY, NICKEL BRONZE RIM AND GRATE, 12" SQUARE, 3" BOTTOM OUTLET, 6" DEEP RECEPTOR WITH STAINLESS STEEL MESH SEDIMENT BUCKET, ZURN (Z1901), SMITH (3151), WADE (9140), JOSAM (49340A), WATTS (FS-740), SIOUX ACID RESISTANT COATED INTERIOR, SEEPAGE FLANGE WITH CLAMP. CHIEF (861-2xXFNWC), SUN (FS2000), MIFAB (FS1730) FLOOR SINK - CAST IRON BODY, NICKEL BRONZE RIM AND GRATE, 12" SQUARE, 4" BOTTOM OUTLET, 6" DEEP RECEPTOR WITH STAINLESS STEEL MESH SEDIMENT BUCKET, ZURN (Z1901), SMITH (3151), WADE (9140), JOSAM (49340A), WATTS (FS-740), SIOUX ACID RESISTANT COATED INTERIOR, SEEPAGE FLANGE WITH CLAMP. CHIEF (861-2xXFNWC), SUN (FS2000), MIFAB (FS1730) TROUGH DRAIN - FLOOR TROUGH CONSTRUCTED OF 14 GAUGE STAINLESS STEEL, WELDED AND POLISHED, ALL CORNERS COVED, BOTTOM SLOPED/PITCHED TO SERVCO EQUIPMENT COMPANY OR EQUIVALENT CUSTOM FABRICATOR. DRAIN-THROUGH GRATES CONTSTRUCTED OF 1"x3/16" STAINLESS STEEL BARS AND 1/2" DIAMETER STAINLESS STEEL SUPPORT RODS. 4" DRAIN OUTLET. MOUNTED WITH 2" STAINLESS STEEL ANCHOR STRAPS. PROVIDE WITH BEEHIVE STRAINER. SEE PLAN FOR DIMENSIONS OF TROUGH.

PIPE INSULATION SCHEDULE (PLUMBING)

1. REFER TO THE SPECIFICATIONS FOR TYPE DESCRIPTIONS AND JACKETING REQUIREMENTS. VALUES LISTED BELOW ARE BASED ON ASHRAE / IECC REQUIREMENTS.

2. TYPE A INSULATION IS NOT ALLOWED IN NON-AIR CONDITIONED SPACES, SUCH AS MECHANICAL ROOMS, EXTERIOR, ATTICS, ETC.

3. TYPE B INSULATION GREATER THAN 1" THICK SHALL BE INSTALLED USING MULTIPLE LAYERS OF 3/4" OR 1" WITH STAGGERED SEAMS.

4. TYPE E IS NOT ALLOWED IN RETURN AIR PLENUMS, UNLESS LISTED AND LABELED AS 25/50 RATED PER ASTM E84/UL723 5. TYPE G 4" SHALL BE INSTALLED IN TWO (2) 2" LAYERS WITH STAGGERED SEAMS.

6. PROVIDE RIGID INSERT AT HANGERS, EITHER PRE-MANUFACTURED COUPLINGS (REFER TO PIPE HANGER AND SUPPORTS SPECIFICATIONS) OR TYPE C, D, OR E INSULATION. SEE SPEC. FOR MORE DETAILS

PIPE SYSTEM	INSULATION TYPE AND THICKNESS PER NOMINAL PIPE OR TUBE SIZE				NOTES	
	< 1"	1" TO < 1.5"	1.5" TO < 4"	4" TO < 8"	≥ 8"	NOTES
CW - COLD WATER - POTABLE	B 0.5", E 0.5"	B 0.5", E 0.5"	B 1", E 1"	B 1", E 1"	B 1", E 1"	
HW - HOT WATER - POTABLE	A 1", B 1", E 1"	A 1", B 1", E 1"	A 1.5", E 1"	A 1.5", E 1"	A 1.5", E 1"	
HWC - HOT WATER CIRCULATING - POTABLE	A 1", B 1", E 1"	A 1", B 1", E 1"	A 1.5", E 1"	A 1.5", E 1"	A 1.5", E 1"	
SAN - SANITARY DRAINAGE	B 0.5"	B 0.5"	B 1"	B 1"	B 1"	APPLY INSULATION ONLY TO FLOOR DRAIN BODY, P-TRAP AND 10' DOWNSTREAM AT LOW TEMP DRAIN DISCHARGE (55 DEG AND LOWER IE: COOLING COIL CONDENSATE, ICE MACHINE DRAINS, ETC.)
V - VENT	B 0.5"	B 0.5"	B 1"	B 1"	B 1"	APPLY INSULATION ONLY WITHIN 10' OF EXTERIOR PENETRATION

MECHANICAL RENOVATION NOTES:

THESE NOTES APPLY TO ALL MECHANICAL SHEETS AND TRADES, INCLUDING BUT NOT LIMITED TO, FIRE PROTECTION, PLUMBING, MEDICAL GAS, VENTILATION, PIPING AND TEMPERATURE

- 1. EXISTING CONDITIONS ARE SHOWN BASED ON INFORMATION OBTAINED FROM FIELD SURVEYS, EXISTING BUILDING DOCUMENTS, AND STAFF. VERIFY EXISTING CONDITIONS AND
- REPORT ANY CONFLICTS BEFORE PROCEEDING. NOT ALL EXISTING DUCTWORK AND PIPING IS SHOWN. VERIFY EXISTING CONDITIONS
- BEFORE STARTING WORK. NOTIFY ENGINEER OF ANY CONFLICTS WITH NEW WORK. EACH CONTRACTOR SHALL FIELD VERIFY ACCESSIBILITY TO THE AREA OF THEIR WORK AND SHALL NOTIFY THE GENERAL CONTRACTOR PRIOR TO BIDDING IF OTHER UTILITIES ARE REQUIRED TO BE REMOVED OR RELOCATED TO ALLOW ACCESS TO THEIR AREA OF WORK.
- 4. THE GENERAL CONTRACTOR IS RESPONSIBLE FOR CUTTING, REMOVAL AND PATCHING OF ROOFS, WALLS, AND FLOORS ASSOCIATED WITH WORK BY ALL CONTRACTORS. CONTRACTORS SHALL NOTIFY THE GC OF AFFECTED AREAS PRIOR TO BIDDING WHERE EXISTING MECHANICAL SYSTEMS ARE LOCATED IN AREAS THAT CONFLICT WITH NEW EQUIPMENT, PIPING, OR DUCTWORK TO BE INSTALLED, EACH CONTRACTOR SHALL
- EITHER ARRANGE NEW EQUIPMENT, PIPING, OR DUCTWORK IN SUCH A FASHION THAT IT DOES NOT CONFLICT WITH EXISTING SYSTEMS, OR REWORK EXISTING MECHANICAL SYSTEMS TO ALLOW FOR INSTALLATION OF NEW EQUIPMENT, PIPING, OR DUCTWORK. PROVIDE TEMPORARY CONNECTIONS TO MAINTAIN EXISTING SYSTEMS IN SERVICE DURING CONSTRUCTION. MAINTAIN ACCESS TO EXISTING MECHANICAL INSTALLATIONS THAT
- REMAIN ACTIVE. OBTAIN PERMISSION FROM OWNER BEFORE SHUTTING DOWN ANY SYSTEM FOR ANY REASON. MAINTAIN SERVICE TO ALL COMPONENTS THAT ARE TO REMAIN UNTIL NEW
- SYSTEMS ARE INSTALLED. MAINTAIN EXISTING SYSTEM IN SERVICE UNTIL NEW SYSTEM IS COMPLETE AND READY FOR TIE IN AND SWITCHOVER. DRAIN SYSTEM ONLY TO MAKE SWITCHOVERS AND CONNECTIONS. OBTAIN PERMISSION FROM OWNER BEFORE PARTIALLY OR COMPLETELY DRAINING SYSTEM. MAKE CHANGEOVER TO NEW SYSTEMS WITH MINIMUM OUTAGE.

PLUMBING GENERAL NOTES:

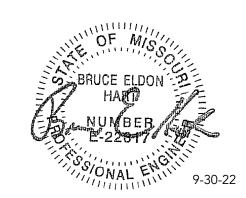
- 1. THE SYMBOLS AND THE MATERIAL LIST ARE FOR THE CONVENIENCE OF THE CONTRACTOR. CONTRACTOR SHALL VERIFY QUANTITIES AND FURNISH ALL MATERIALS REQUIRED FOR FULLY OPERATIONAL SYSTEMS, WHETHER SPECIFIED OR NOT.
- 2. CATALOG NUMBERS SHALL NOT BE CONSIDERED COMPLETE, BUT ARE GIVEN AS AN AID TO THE CONTRACTOR AND TO INDICATE THE QUALITY REQUIRED. CONTRACTOR IS RESPONSIBLE FOR A COMPLETE DESCRIPTION OF MATERIAL ON THESE DRAWINGS AND IN THE SPECIFICATIONS BEFORE ORDERING. THE DESCRIPTION OF THE MATERIAL TAKES PRECEDENCE OVER THE CATALOG NUMBER. THE FIRST MANUFACTURER LISTED IS THE BASIS OF DESIGN.
- 3. CONTRACTOR SHALL VERIFY THAT FIXTURES SUPPLIED ARE APPROVED PER ALL
- APPLICABLE STATE, LOCAL AND GOVERNING AUTHORITIES. ALL FIXTURES SHALL CONFORM TO FEDERAL ACT S.3874
- 5. INVERT ELEVATIONS ARE FROM EXISTING DRAWINGS AND MAY NOT BE ACCURATE. VERIFY
- ALL ELEVATIONS BEFORE BEGINNING WORK. 6. VERIFY UNDERGROUND OR UNDERFLOOR PIPE SIZES, INVERT ELEVATIONS, AND
- LOCATIONS PRIOR TO BEGINNING ANY WORK. REFER TO THE PLUMBING ROUGH-IN SCHEDULE FOR THE SIZES OF BRANCH PIPES TO
- PLUMBING FIXTURES. 8. EXISTING CONDITIONS ON DEMOLITION PLANS ARE PROVIDED TO INDICATE THE GENERAL
- SCOPE OF ITEMS TO BE REMOVED. REFER TO SPECIFICATION SECTION 22 05 05 FOR ADDITIONAL DEMOLITION INFORMATION.
- 9. P.C. SHALL CUT AND PATCH EXISTING AS REQUIRED FOR NEW OR DEMOLITION WORK UNLESS NOTED OTHERWISE. REFER TO SPECIFICATION SECTION 22 05 05 FOR ADDITIONAL INFORMATION.

MECHANICAL GENERAL NOTES:

THESE NOTES APPLY TO ALL MECHANICAL SHEETS AND TRADES, INCLUDING BUT NOT LIMITED TO, FIRE PROTECTION, PLUMBING, MEDICAL GAS, VENTILATION, PIPING AND TEMPERATURE

- 1. DRAWINGS SHOWING LOCATIONS OF EQUIPMENT, DUCTWORK, PIPING, ETC. ARE DIAGRAMMATIC AND MAY NOT ALWAYS REFLECT EXACT INSTALLATION CONDITIONS. DRAWINGS SHOW THE GENERAL ARRANGEMENT OF DUCTWORK, PIPING, EQUIPMENT, ETC., AND MAY NOT INCLUDE ALL OFFSETS AND FITTINGS REQUIRED FOR COMPLETE INSTALLATION. THE DRAWINGS SHALL BE FOLLOWED AS CLOSELY AS ACTUAL BUILDING
- CONSTRUCTION AND THE WORK OF OTHERS WILL PERMIT. 2. DO NOT SCALE DRAWINGS. VERIFY ALL DIMENSIONS AND CLEARANCES FROM ARCHITECTURAL, STRUCTURAL, SUBMITTALS, AND OTHER APPROPRIATE DRAWINGS OR PHYSICALLY AT SITE. REVIEW ALL DRAWINGS, INCLUDING THOSE OF OTHER TRADES.
- 3. COORDINATE ALL WORK WITH ALL OTHER TRADES PRIOR TO INSTALLATION TO PROVIDE CLEARANCES REQUIRED FOR OPERATION, MAINTENANCE, CODE COMPLIANCE, AND TO VERIFY NON-INTERFERENCE WITH OTHER WORK. DO NOT FABRICATE PRIOR TO VERIFICATION OF NECESSARY CLEARANCES FOR ALL TRADES. BRING ANY INTERFERENCES OR CONFLICTS TO THE ATTENTION OF THE ARCHITECT/ENGINEER BEFORE PROCEEDING
- WITH FABRICATION OR EQUIPMENT ORDERS. 4. REVIEW SPACE REQUIREMENTS OF EQUIPMENT SPECIFIED OR SUBSTITUTED AND MAKE REASONABLE ACCOMMODATIONS IN LAYOUT AND POSITIONING TO PROVIDE PROPER
- 5. ANY CHANGES REQUIRED TO ELIMINATE CONFLICTS OR THAT RESULT FROM A FAILURE TO COORDINATE SHALL BE MADE BY THE CONTRACTOR WITHOUT ADDITIONAL COST OR
- EXPENSE TO OTHERS. EACH CONTRACTOR IS RESPONSIBLE FOR DAMAGE CAUSED BY THEIR ACTIONS TO WALLS, FLOORS, CEILINGS, AND ROOFS. THE CONTRACTOR WHOSE WORK CAUSES DAMAGE IS RESPONSIBLE FOR PATCHING TO MATCH ORIGINAL CONSTRUCTION, FIRE RATING, AND
- 7. IN AREAS WITH DRYWALL CEILINGS COORDINATE LOCATIONS OF ACCESS PANELS WITH THE GC FOR ACCESS TO VALVES, DUCTWORK ACCESSORIES, DAMPERS, ETC. COORDINATE PANEL TYPE AND COLOR WITH ARCHITECT. NOTIFY THE GC OF THE REQUIRED ACCESS PANELS PRIOR TO BIDDING.
- 8. SEAL ALL FLOOR AND WALL PENETRATIONS AIRTIGHT WHERE CONDUITS, PIPING, AND DUCTS PENETRATE.
- 9. CAULK ALL PIPE AND DUCT PENETRATIONS OF FULL HEIGHT NON-FIRE RATED WALL, PARTITION, FLOOR, AND ROOF ASSEMBLIES. THIS IS ESSENTIAL TO PREVENT NOISE TRANSMISSION FROM ONE ROOM TO ANOTHER AND TO PROVIDE THE DESIRED NC LEVELS
- 10. WHERE PIPES AND DUCTS ARE SHOWN TO PENETRATE FLOORS, PROVIDE SLEEVED OPENINGS WITH THE TOP EDGE RAISED ABOVE FLOOR SURFACE IN ACCORDANCE WITH ALL RELEVANT SPEC SECTIONS. SEAL SLEEVE PERIMETER TO BE WATERTIGHT. 11. EQUIPMENT SIZES AND SERVICE CLEARANCE REQUIREMENTS VARY AMONG DIFFERENT
- MANUFACTURERS. CONSULT APPROVED SHOP DRAWINGS FOR EQUIPMENT SIZES AND REQUIRED SERVICE CLEARANCES. COORDINATE WITH LAYOUT OF EQUIPMENT PADS, PIPING, DUCTWORK, ETC.
- 12. DO NOT BLOCK TUBE PULL OR EQUIPMENT SERVICE CLEARANCES.
- 13. MAINTAIN A MINIMUM WORKING CLEARANCE OF 3'-6" IN FRONT OF ALL ELECTRICAL EQUIPMENT REQUIRING MAINTENANCE, INSPECTION, AND TESTING INCLUDING BUT NOT LIMITED TO PANELS, DISTRIBUTION PANELS, SWITCHBOARDS, MOTOR CONTROL CENTERS, TRANSFORMERS, EQUIPMENT DISCONNECTS AND STARTERS.
- 14. MAINTAIN THE DEDICATED ELECTRICAL EQUIPMENT SPACE DEFINED BY THE WIDTH / DEPTH OF ELECTRICAL EQUIPMENT MEASURED FROM THE FLOOR TO A HEIGHT 6'-0" ABOVE THE EQUIPMENT OR THE STRUCTURAL CEILING, WHICHEVER IS LOWER. SYSTEMS FOREIGN TO THE ELECTRICAL DISTRIBUTION SYSTEM ARE NOT ALLOWED IN THE DEDICATED ELECTRICAL SPACE INCLUDING; DUCTWORK, PIPING, ETC.
- 15. DO NOT SUPPORT EQUIPMENT, PIPING, OR DUCTWORK FROM METAL DECKING OR OTHER NON-STRUCTURAL BUILDING ELEMENTS. ANCHORS EMBEDDED IN CONCRETE SHALL BE CRACKED CONCRETE APPROVED IN ACCORDANCE WITH SPECIFICATIONS.

STATE OF MISSOURI MICHAEL L. PARSON, **GOVERNOR**



BRUCE ELDON HART - ENGINEER



INTERNATIONAL ARCHITECTS ATELIER

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OFFICE OF **ADMINISTRATION DIVISION OF FACILITIES** MANAGEMENT, DESIGN AND CONSTRUCTION

DEPARTMENT OF CORRECTIONS

REPLACE KITCHEN FLOORING (3RD FLOOR) WESTERN RECEPTION DIAGNOSTIC AND CORRECTIONAL CENTER

3401 FARAON ST. ST. JOSEPH, MO 64506

PROJECT # C2001-01 ASSET # 9327012053 SITE # 7012

REVISION: BID DOCUMENTS DATE: 09/30/2022 **REVISION:**

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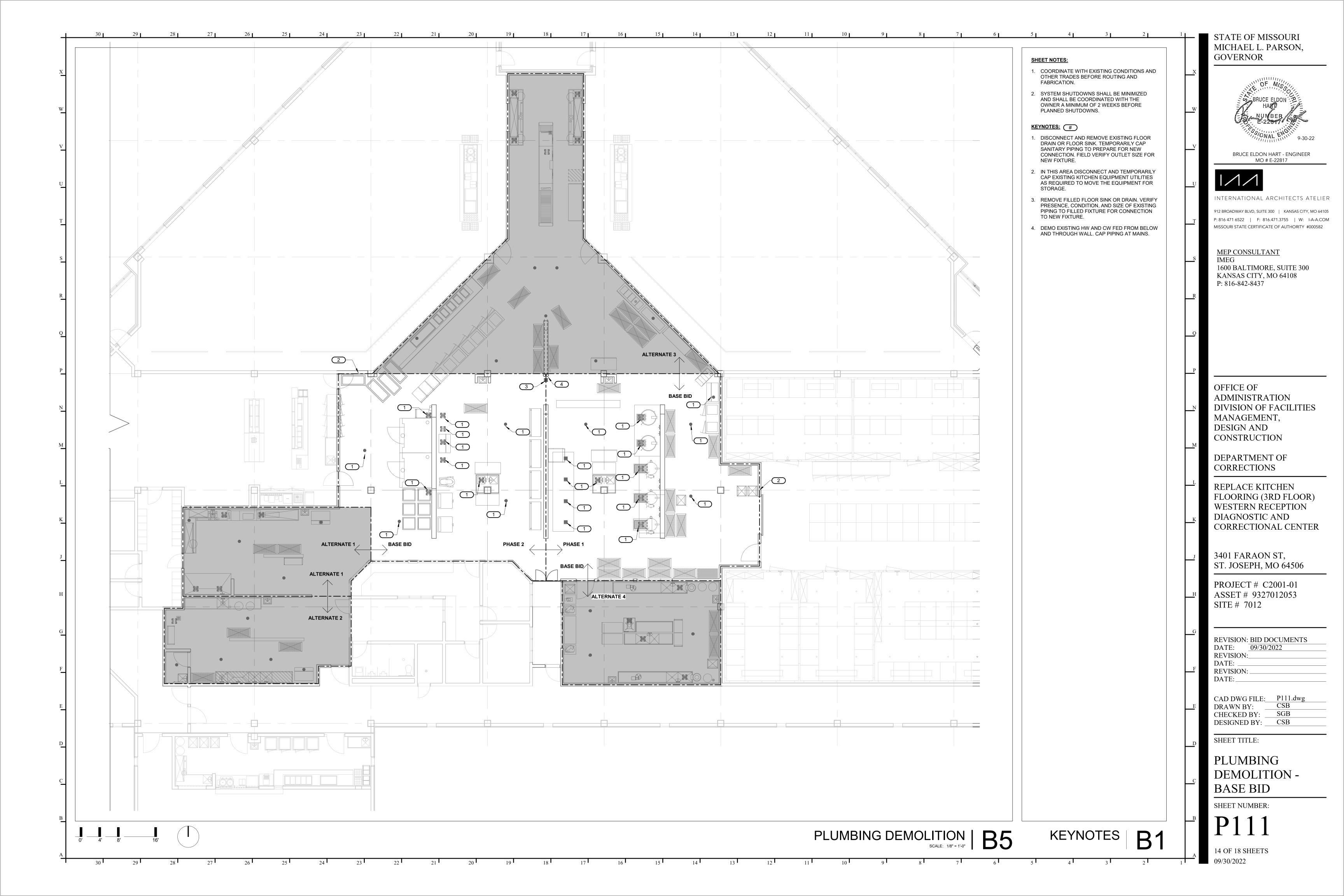
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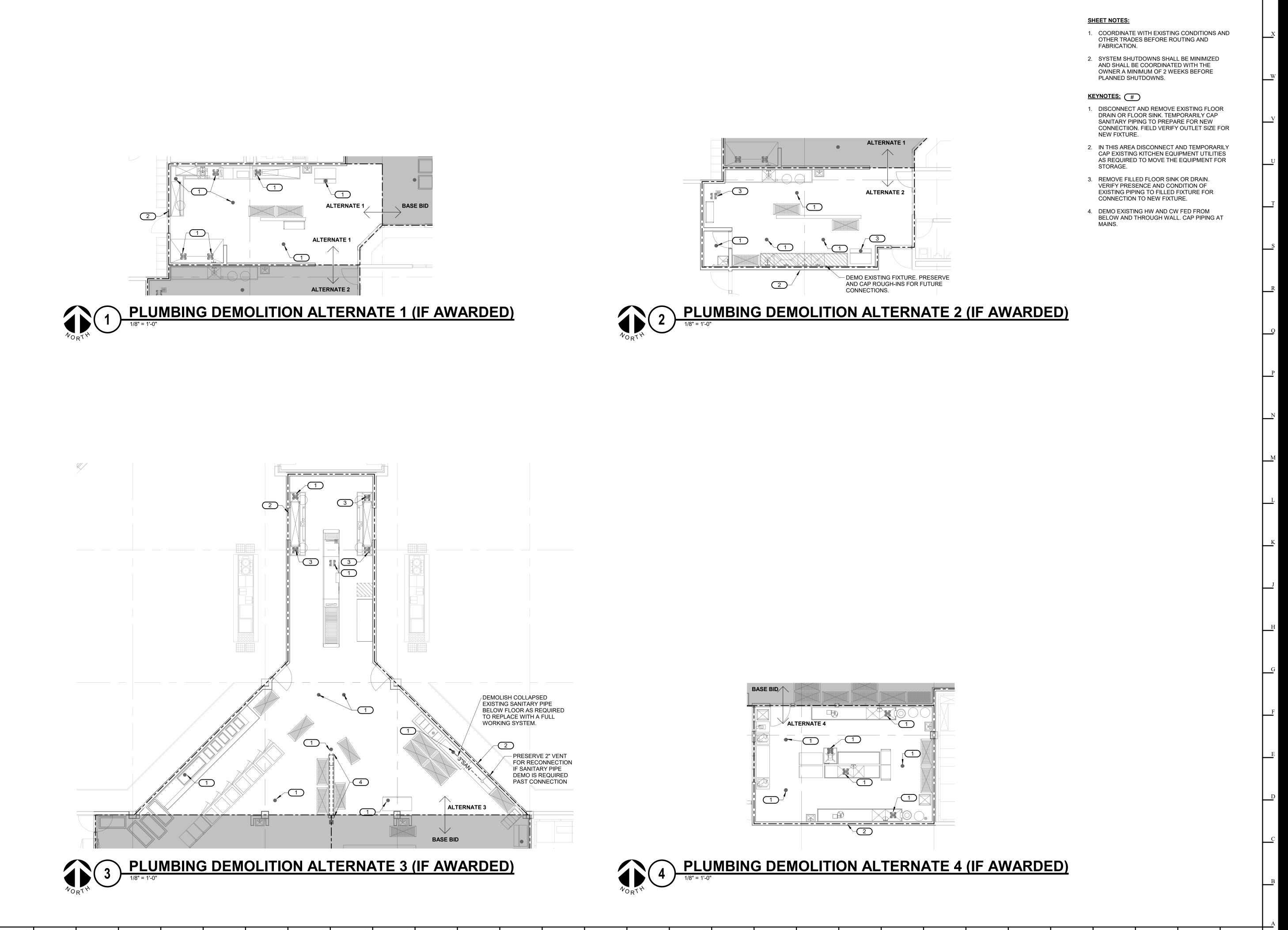
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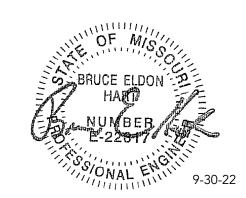
PLUMBING COVERSHEE

SHEET NUMBER





STATE OF MISSOURI MICHAEL L. PARSON, GOVERNOR



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REVISION: BID DOCUMENTS
DATE: 09/30/2022
REVISION: DATE: ____

DATE: _______CAD DWG FILE: P111.1.dwg

DRAWN BY: CSB
CHECKED BY: SGB
DESIGNED BY: CSB

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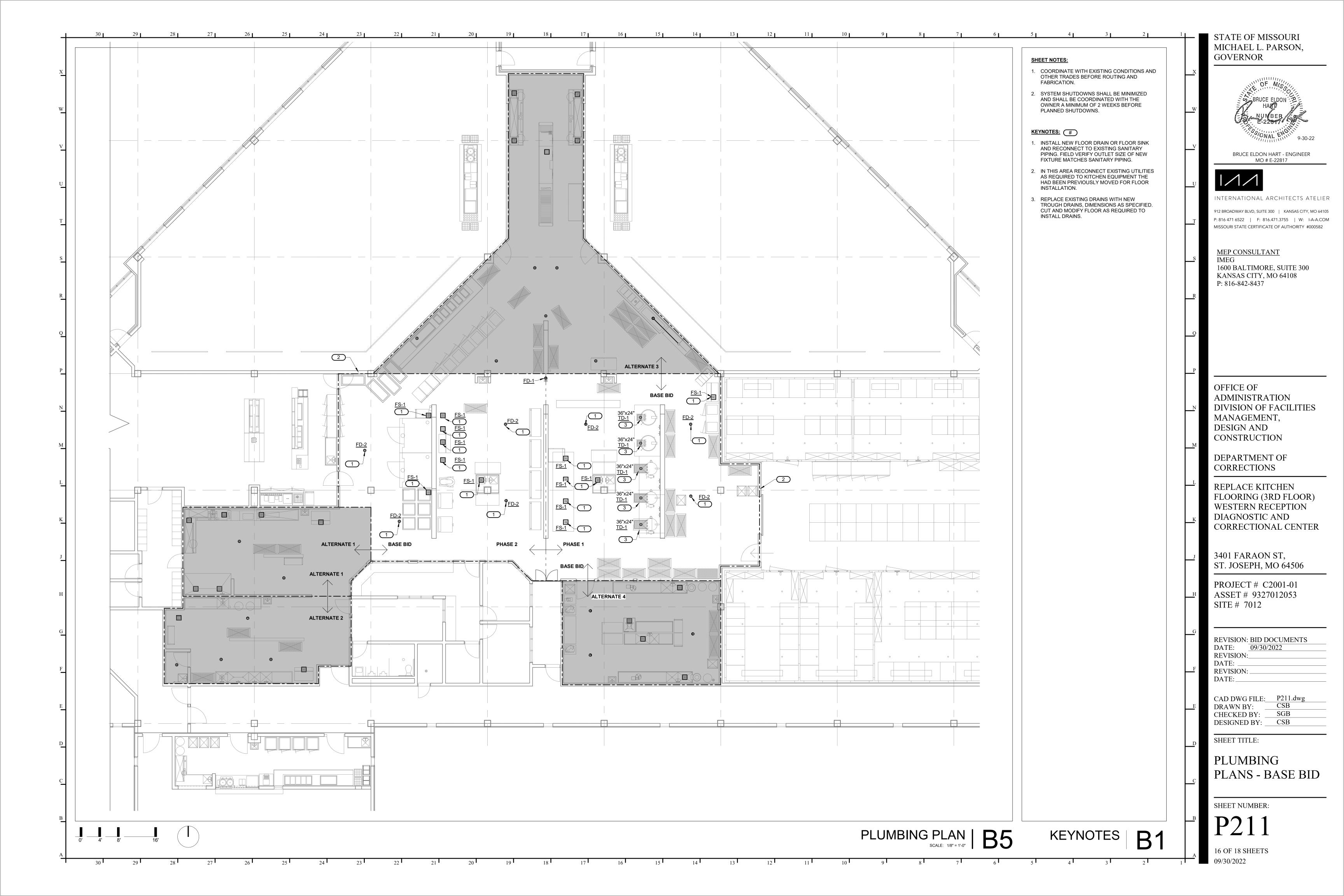
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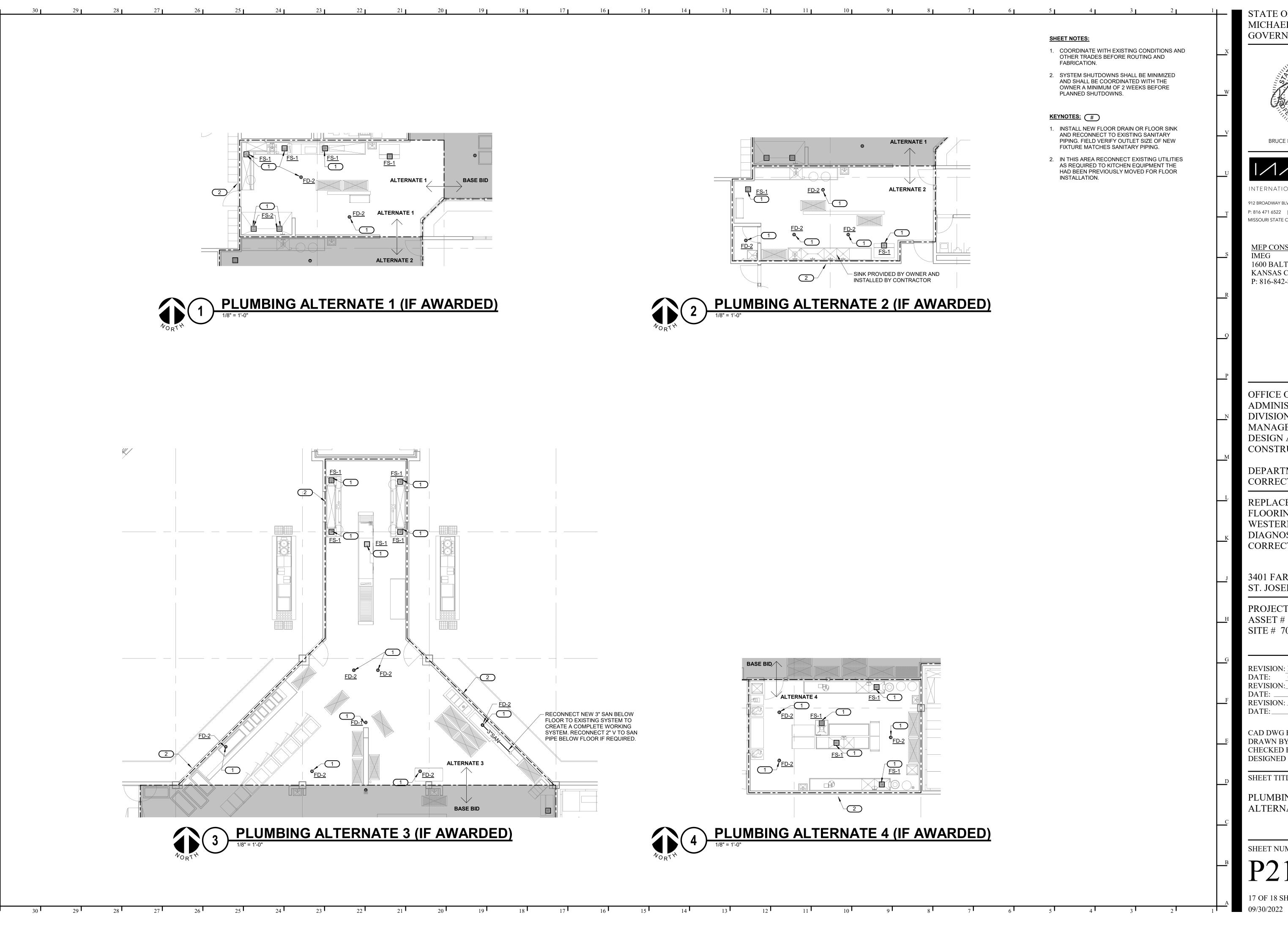
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- ALTERNATES 1, 2, 3 & 4

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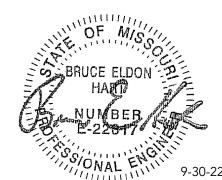
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15 OF 18 SHEETS 09/30/2022





STATE OF MISSOURI MICHAEL L. PARSON, GOVERNOR



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PROJECT # C2001-01 ASSET # 9327012053 SITE # 7012

REVISION: BID DOCUMENTS DATE: <u>09/30/2022</u> REVISION:

CAD DWG FILE: P211.1.dwg DRAWN BY:

CHECKED BY: DESIGNED BY: CSB

SHEET TITLE:

PLUMBING PLANS -**ALTERNATES 1, 2, 3 & 4**

SHEET NUMBER:

17 OF 18 SHEETS

