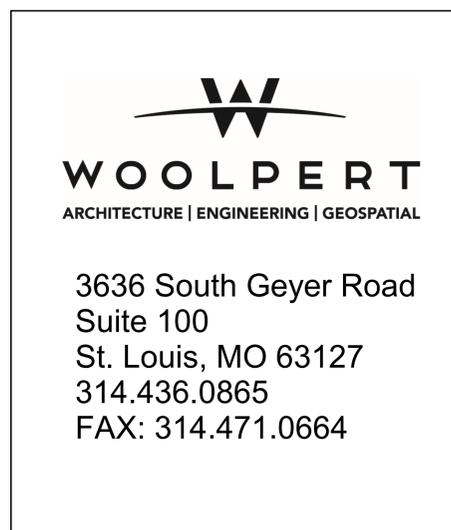


Replace Roofs, Multiple Buildings Montgomery City Youth Center Division of Youth Services



OWNER: STATE OF MISSOURI
Michael L. Parson,
GOVERNOR

DEPARTMENT OF SOCIAL SERVICES
DIVISION OF YOUTH SERVICES

PROJECT MANAGEMENT: OFFICE OF ADMINISTRATION
DIVISION OF FACILITIES MANAGEMENT,
DESIGN AND CONSTRUCTION

DESIGNER: Woolpert

CERTIFICATE OF AUTHORITY NUMBER: F00623916

PROJECT NUMBER: H1908-01

SITE NUMBER: (7709)
ASSET NUMBERS: (8877709007), (8877709008)
(8877709009), (8877709010)
(8877709011), (8877709012)
(8877709013)

ABBREVIATIONS

A/C	AIR CONDITION(ING)	MECH.	MECHANICAL
ADD.	ADDENDUM, ADDITIONAL	MEZZ.	MEZZANINE
ADJ.	ADJACENT, ADJUSTABLE	MFR.	MANUFACTURE(ER)(ED)
A.F.F.	ABOVE FINISH FLOOR	MIN.	MINIMUM
AGG.	AGGREGATE	MTG.	MEETING
ALUM.	ALUMINUM	M.O.	MASONRY OPENING
ALT.	ALTERNATE	N	N
APPROX.	APPROXIMATE	N.	NORTH
ARCH.	ARCHITECTURE(URE)(URAL)	N.I.C.	NOT IN CONTRACT
ASPH.	ASPHALT	O	O
	B	O.C.	ON CENTER
BC	BORDER CARPET	O.D.	OUTSIDE DIAMETER
BD.	BOARD	OFF.	OFFICE
BK.	BRICK	O.F.O.W.	OUTSIDE FACE OF WALL
BLDG.	BUILDING	OH.	OVERHEAD
BLKG.	BLOCKING	OPNG.	OPENING
BM.	BEAM	OPP.	OPPOSITE
	C	P	P
C.F.	CUBIC FEET	P.	PAINT(ED)
C.J.	CONTROL JOINT	PAV.	PAVED, PAVEMENT
CLG.	CEILING	PL.	PLASTIC, PLASTER
C.M.U.	CONCRETE MASONRY UNIT	PLMB.	PLUMB(ING)
CONC.	CONCRETE	PLYW.	PLYWOOD
CONF.	CONFERENCE	P.S.F.	POUNDS / SQUARE FOOT
CONST.	CONSTRUCTION	P.S.I.	POUNDS / SQUARE INCH
CONT.	CONTINUOUS, CONTINUED	P.T.	PORCELAIN TILE
C.T.	CERAMIC TILE	P.T.D.	PAPER TOWEL DISPENSER
C.P.	CARPET	PVC.	POLYVINYLCHLORIDE
C.Y.	CUBIC YARD		Q
	D	Q.T.	QUARRY TILE
DWG.	DRAWING(S)		R
D.S.	DOWNSPOUT	REINF.	REINFORCE(ED)(ING)
	E	REQ.	REQUIRE(ED)
E.	EAST	RESIL.	RESILIENT
EA.	EACH	RES.	RESINOUS FLOORING
E.J.	EXPANSION JOINT	RM.	ROOM
ELEC.	ELECTRIC, ELECTRICAL	RTU	ROOF TOP UNIT
ELEV.	ELEVATION, ELEVATOR	S	S
ENGR.	ENGINEER(ING)(ED)	S.	SOUTH
ERD.	EXISTING ROOF DRAIN	S.A.T.	SUSPENDED ACOUSTICAL TILE
EQ.	EQUAL	S.C.	SOLID CORE
EQUIP.	EQUIPMENT	SECT.	SECTION
E.W.	EACH WAY	S.F.	SQUARE FEET
E.W.C.	ELECTRIC WATER COOLER	S.G.T.	STRUCTURAL GLAZED TILE
EXIST.	EXISTING	SIM.	SIMILAR
EXP.	EXPOSE(ED), EXPANSION	S.N.D.	SANITARY NAPKIN DISPENSER
EXT.	EXTERIOR	SPKLR.	SPRINKLER
EX ST	EXPOSED STRUCTURE	STD.	STANDARD
	F	STL.	STEEL
FT	FEET	STRUCT.	STRUCTURE, STRUCTURAL
	G	T	T
GAL.	GALLON	TEL.	TELEPHONE
GALV.	GALVANIZED	TEMP.	TEMPORARY, TEMPERATURE
G.B.	GLASS BLOCK	TERR.	TERRAZZO
G.C.	GENERAL CONTRACTOR	T.O.C.	TOP OF CONCRETE
GL.	GLASS	TOIL.	TOILET
GYP.	GYPSSUM BOARD	T.O.S.	TOP OF STEEL
	H	T.O.W.	TOP OF WALL
H.B.	HOSE BIB	TV.	TELEVISION
H.C.	HOLLOW CORE	TYP.	TYPICAL
HDW.	HARDWARE		U
HDWD.	HARDWOOD	UNF.	UNFURNISHED
H.M.	HOLLOW METAL	UR.	URINAL
HORIZ.	HORIZONTAL	UTIL.	UTILITY, UTILITIES
H.&V.	HEATING & VENTILATING		V
	I	V.B.	VAPOR BARRIER
I.D.	INSIDE DIAMETER	V.C.T.	VINYL COMPOSITION TILE
INSUL.	INSULATION, INSULATED	VENT.	VENTILATOR, VENTILATION
INT.	INTERIOR	VEST.	VESTIBULE
	J	V.P.	VENEER PLASTER
JCT.	JUNCTION	V.T.	VINYL TILE
JST.	JOIST	V.T.B.	VINYL TILE BASE
	L	V.W.C.	VINYL WALL COVERING
LB.	POUND		W
L.F.	LINEAL FEET	W.	WEST
LAM.	LAMINATED	W.C.	WATER CLOSET
LAV.	LAVATORY	WD.	WOOD
	M	WT.	WEIGHT
MATL.	MATERIAL		
MAX.	MAXIMUM		

SYMBOLS

DRAWING TITLE

View Name
 A1 SCALE: 1/8" = 1'-0"
 DRAWING SHEET NUMBER
 DRAWING TITLE
 SCALE OF DRAWING

EXTERIOR ELEVATIONS

A1
 A-101
 DRAWING REFERENCE NUMBER
 DRAWING SHEET NUMBER

INTERIOR ELEVATIONS

A-101 A1
 DRAWING REFERENCE NUMBER
 DRAWING SHEET NUMBER

BUILDING SECTION

A1 SIM
 A-101
 DRAWING REFERENCE NUMBER
 DRAWING SHEET NUMBER

END OF SECTION

WALL SECTION

A1 SIM
 A-101
 DRAWING REFERENCE NUMBER
 DRAWING SHEET NUMBER

END OF SECTION

DETAIL/ENLARGED PLAN

A1
 A-101
 DRAWING REFERENCE NUMBER
 DRAWING SHEET NUMBER

INDEX OF DRAWINGS

Sheet Number	Sheet Name
G-001	COVER
G-002	INDEX OF DRAWINGS, LOCATION MAP & ABBREVIATIONS
AD-001	OVERALL DEMOLITION ROOF PLAN
A-100	OVERALL ROOF PLAN
A-200	ROOF DETAILS
A-201	ROOF DETAILS

KEY PLAN

1 ROOF LEVEL (WORK AREA)
 SCALE : 1" = 30'-0"

LOCATION MAP

SITE ADDRESS: 300 NIEDERGERKE DRIVE
 MONTGOMERY CITY, MO 63361

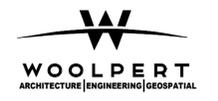
REGIONAL MAP

LOCATION MAP

STATE OF MISSOURI
 MICHAEL L. PARSON,
 GOVERNOR



PROFESSIONAL SEAL



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OFFICE OF ADMINISTRATION
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REPLACE ROOFS, MULTIPLE
 BUILDINGS
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 CENTER
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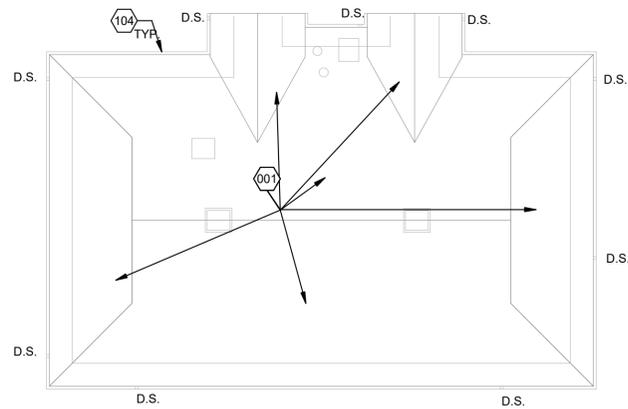
PROJECT # H1908-01
 SITE # 7709
 ASSET # (8877709007), (8877709008), (8877709009), (8877709010), (8877709011), (8877709012), (8877709013)

REVISION: _____
 DATE: _____
 REVISION: _____
 DATE: _____
 REVISION: _____
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 ISSUE DATE: 06 NOVEMBER 2019

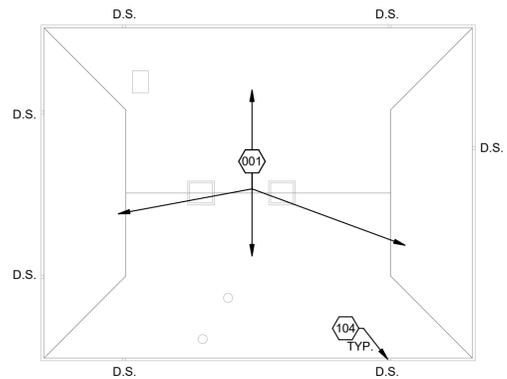
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 DRAWN BY: _____
 CHECKED BY: _____
 DESIGNED BY: _____

SHEET TITLE:
 INDEX OF DRAWINGS,
 LOCATION MAP &
 ABBREVIATIONS

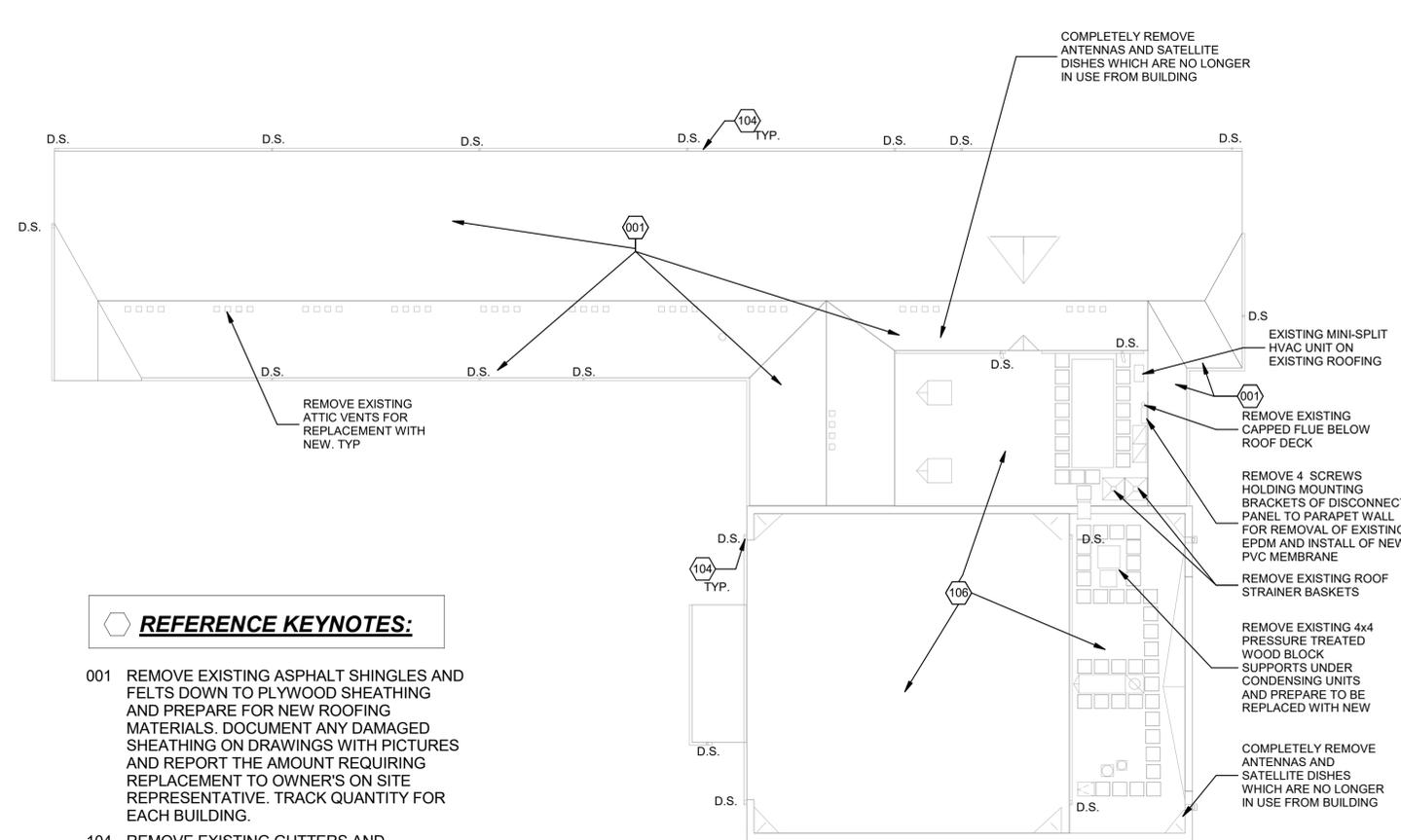
SHEET NUMBER:
G-002
 2 OF 6 SHEETS



COED HOUSING UNIT "D" ROOF PLAN



UNISEX HOUSING UNIT "C" ROOF PLAN



CORE/MULTIPURPOSE/GYMNASIUM BUILDING ROOF PLAN

REFERENCE KEYNOTES:

- 001 REMOVE EXISTING ASPHALT SHINGLES AND FELTS DOWN TO PLYWOOD SHEATHING AND PREPARE FOR NEW ROOFING MATERIALS. DOCUMENT ANY DAMAGED SHEATHING ON DRAWINGS WITH PICTURES AND REPORT THE AMOUNT REQUIRING REPLACEMENT TO OWNER'S ON SITE REPRESENTATIVE. TRACK QUANTITY FOR EACH BUILDING.
- 104 REMOVE EXISTING GUTTERS AND DOWNSPOUTS AND PREP FOR NEW GUTTERS AND DOWNSPOUTS IN SAME LOCATIONS.
- 106 NEW ASPHALT SHINGLE, OVER NEW #30 FELT AND ICE DAM, OVER EXISTING PLYWOOD ROOF SHEATHING

COMPLETELY REMOVE ANTENNAS AND SATELLITE DISHES WHICH ARE NO LONGER IN USE FROM BUILDING

EXISTING MINI-SPLIT HVAC UNIT ON EXISTING ROOFING

REMOVE EXISTING CAPPED FLUE BELOW ROOF DECK

REMOVE 4 SCREWS HOLDING MOUNTING BRACKETS OF DISCONNECT PANEL TO PARAPET WALL FOR REMOVAL OF EXISTING EPDM AND INSTALL OF NEW PVC MEMBRANE

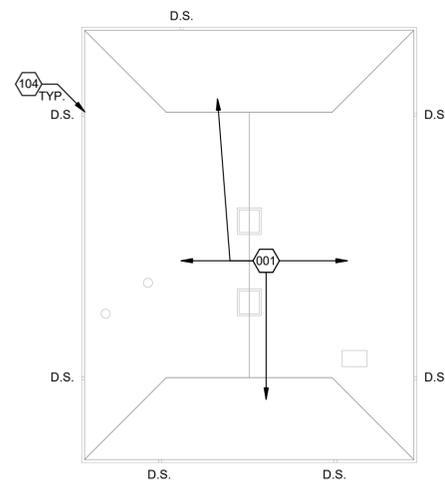
REMOVE EXISTING ROOF STRAINER BASKETS

REMOVE EXISTING 4x4 PRESSURE TREATED WOOD BLOCK SUPPORTS UNDER CONDENSING UNITS AND PREPARE TO BE REPLACED WITH NEW

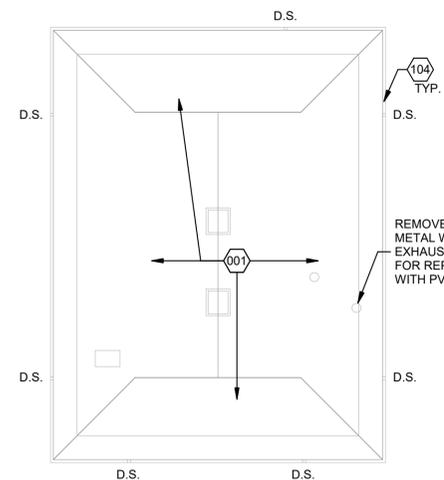
COMPLETELY REMOVE ANTENNAS AND SATELLITE DISHES WHICH ARE NO LONGER IN USE FROM BUILDING

DEMOLITION GENERAL NOTES:

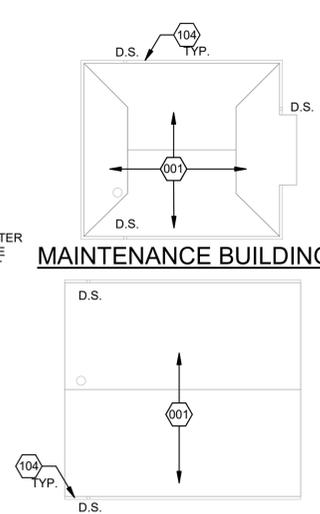
1. CONTRACTOR SHALL FIELD VERIFY DIMENSIONS AND BE RESPONSIBLE FOR THE SAME. ANY DISCREPANCIES SHALL BE BROUGHT TO THE ARCHITECT'S PRIOR TO FABRICATION AND/OR INSTALLATION.
2. CONTRACTOR TO VERIFY SIZE, QUANTITY AND LOCATION OF ALL EXISTING ROOF PENETRATIONS.
3. CONTRACTORS SHALL COMPLETELY REMOVE ALL DEMOLISHED MATERIALS FROM THE SITE. ALL DEMOLISHED MATERIALS SHALL BECOME PROPERTY OF THE CONTRACTOR UNLESS THEY ARE TO BE REUSED, OR AS OTHERWISE NOTED OR INSTRUCTED, AND TO BE DISPOSED OF LEGALLY. REMOVE DEBRIS, RUBBISH, AND OTHER MATERIALS DAILY FROM CONSTRUCTION SITE. ALL REMOVED MATERIALS SHALL BE DISPOSED OF LEGALLY. DO NOT STORE ANY DEMOLITION MATERIAL ON THE EXISTING ROOF.
4. ALL MATERIALS NOT REQUIRED TO BE REMOVED FOR THE EXECUTION OF THE PROJECT SHALL BE LEFT IN PLACE AND PROTECTED FROM DAMAGE DURING CONSTRUCTION. ANY ITEMS DAMAGED DUE TO THIS PROJECT SHALL BE RESTORED TO THEIR ORIGINAL CONDITION AT THE CONTRACTOR'S EXPENSE.
5. NEITHER THE OWNER NOR USING AGENCY ASSUMES ANY RESPONSIBILITY FOR ACTUAL CONDITIONS OF ITEMS TO BE DEMOLISHED.
6. CUT AND REMOVE PORTIONS OF EXISTING CONSTRUCTION AS REQUIRED TO ALLOW FOR PROPER INSTALLATION OF NEW CONSTRUCTION.
7. AT ANY TIME DURING CONSTRUCTION, IF ANY CONTRACTOR DISCOVERS HAZARDOUS MATERIALS, STOP WORK AND NOTIFY THE OWNER IMMEDIATELY.
8. REMOVE ALL EXISTING ROOFING AND INSULATION DOWN TO EXISTING DECK.
9. EVERY ATTEMPT HAS BEEN MADE TO LOCATE AND IDENTIFY ALL ROOF PENETRATIONS AND ROOF TOP UNITS. G.C. SHALL BE RESPONSIBLE FOR FIELD VERIFYING ALL ROOF PENETRATIONS AND ROOF TOP UNITS PRIOR TO BIDDING, SO THAT BID CONTAINS ALL REQUIRED PRICING TO COMPLETE JOB. ALL FLASHING...
10. PRIOR TO REMOVAL AND RELOCATION OF ANY ELECTRICAL LINES AND GAS LINES, TURN OFF ELECTRIC AND GAS SERVICES AS REQUIRED.
11. CONTRACTOR SHALL COMPLETELY REMOVE ALL ROOFING NAILS FROM GROUNDS EACH DAY.



UNISEX HOUSING UNIT "B" ROOF PLAN



UNISEX HOUSING UNIT "A" ROOF PLAN



MAINTENANCE BUILDING

VOTEC BUILDING

REMOVE EXISTING METAL WATER HEATER EXHAUST VENT PIPE FOR REPLACEMENT WITH PVC PIPE

1 OVERALL DEMOLITION ROOF PLAN
SCALE : 1/16" = 1'-0"



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MISSOURI NATION GUARD

REPLACE ROOFS, MULTIPLE
BUILDINGS
MONTGOMERY CITY YOUTH
CENTER
DIVISION OF YOUTH SERVICES

PROJECT # H1908-01
SITE # 7709
ASSET # (8877709007), (8877709008),
(8877709009), (8877709010),
(8877709011), (8877709012),
(8877709013)

REVISION: _____
DATE: _____
REVISION: _____
DATE: _____
REVISION: _____
DATE: _____
ISSUE DATE: 06 NOVEMBER 2019

CAD DWG FILE:
DRAWN BY:
CHECKED BY:
DESIGNED BY:

SHEET TITLE:
**OVERALL DEMOLITION ROOF
PLAN**

SHEET NUMBER:
AD-001
3 OF 6 SHEETS



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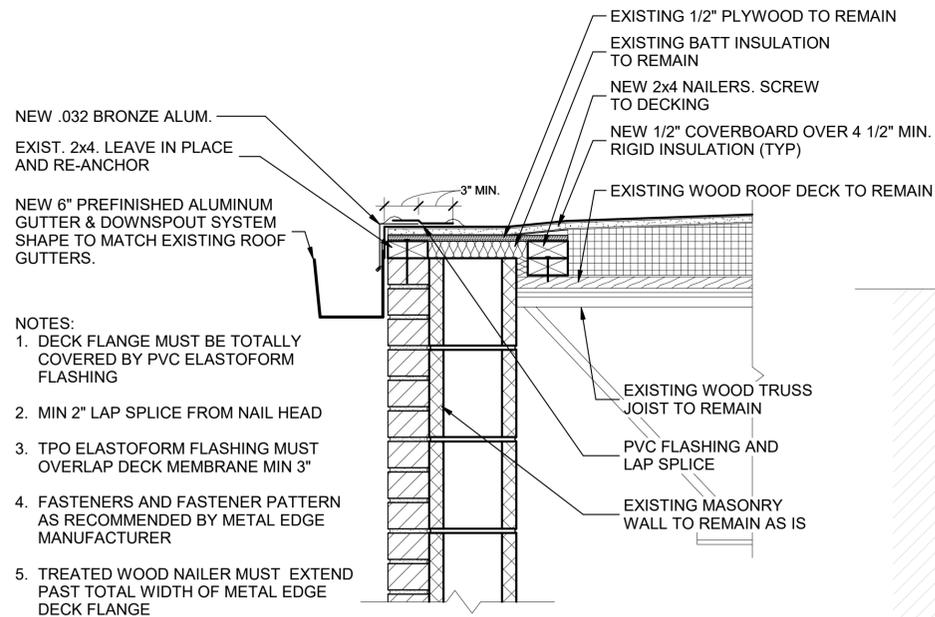
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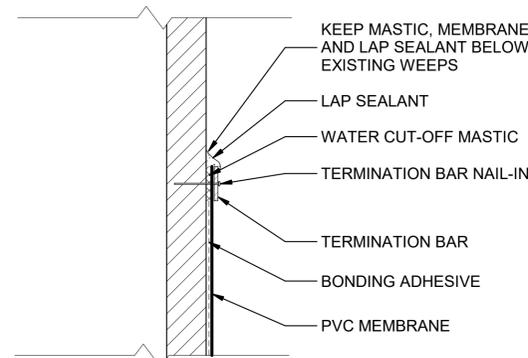
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ROOF DETAILS

SHEET NUMBER:
A-200
5 OF 6 SHEETS



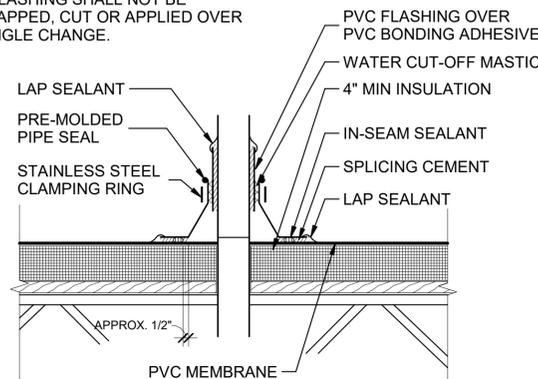
- NOTES:
1. DECK FLANGE MUST BE TOTALLY COVERED BY PVC ELASTOFORM FLASHING
 2. MIN 2" LAP SPLICE FROM NAIL HEAD
 3. TPO ELASTOFORM FLASHING MUST OVERLAP DECK MEMBRANE MIN 3"
 4. FASTENERS AND FASTENER PATTERN AS RECOMMENDED BY METAL EDGE MANUFACTURER
 5. TREATED WOOD NAILER MUST EXTEND PAST TOTAL WIDTH OF METAL EDGE DECK FLANGE

1 WALL SECTION
SCALE: 1 1/2" = 1'-0"

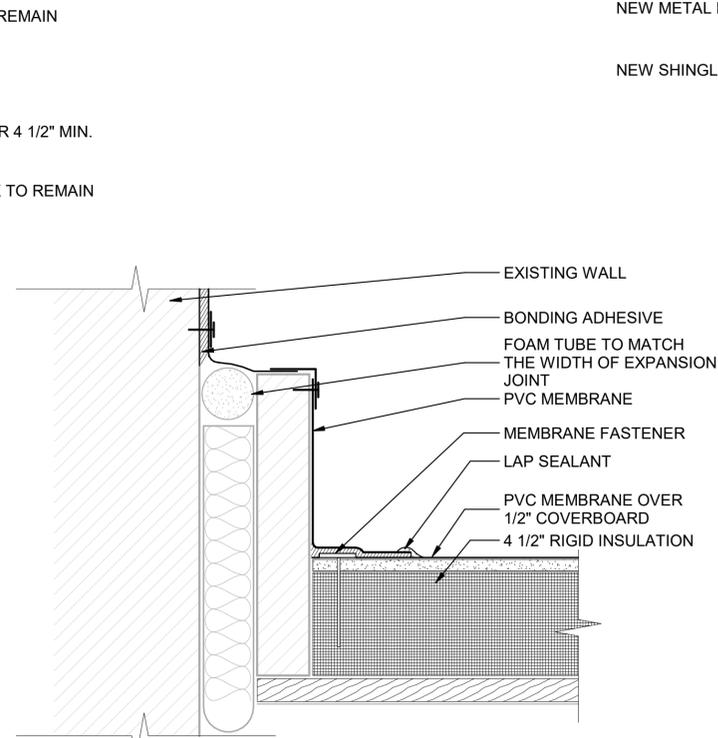


4 TERMINATION DETAIL
SCALE: 1 1/2" = 1'-0"

- NOTES:
1. REMOVE ALL OTHER FLASHING
 2. PRE-MOLDED PIPE SEAL MUST HAVE INTACT RIB AT TOP EDGE, REGARDLESS OF PIPE DIAMETER.
 3. APPLY IN-SEAM SEALANT 1/2" FROM INSIDE EDGE OF PIPE SEAL FLANGE.
 4. DECK FLANGES OF THE PRE-MOLDED PIPE FLASHING SHALL NOT BE OVERLAPPED, CUT OR APPLIED OVER ANY ANGLE CHANGE.

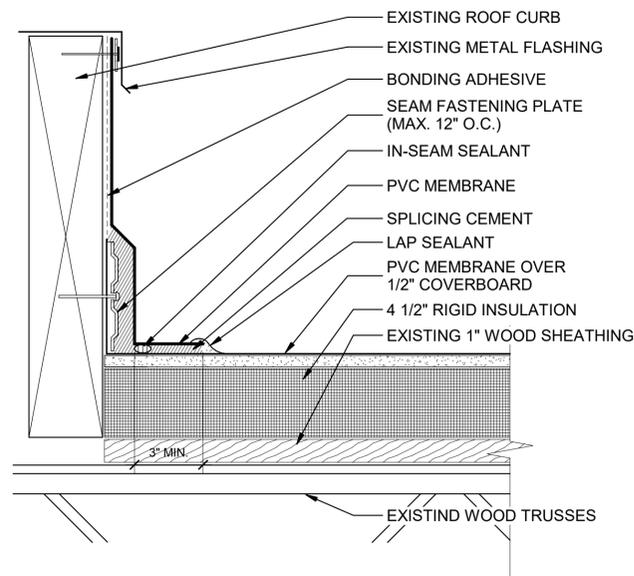


5 VENT PIPE FLASHING DETAIL
SCALE: 1 1/2" = 1'-0"

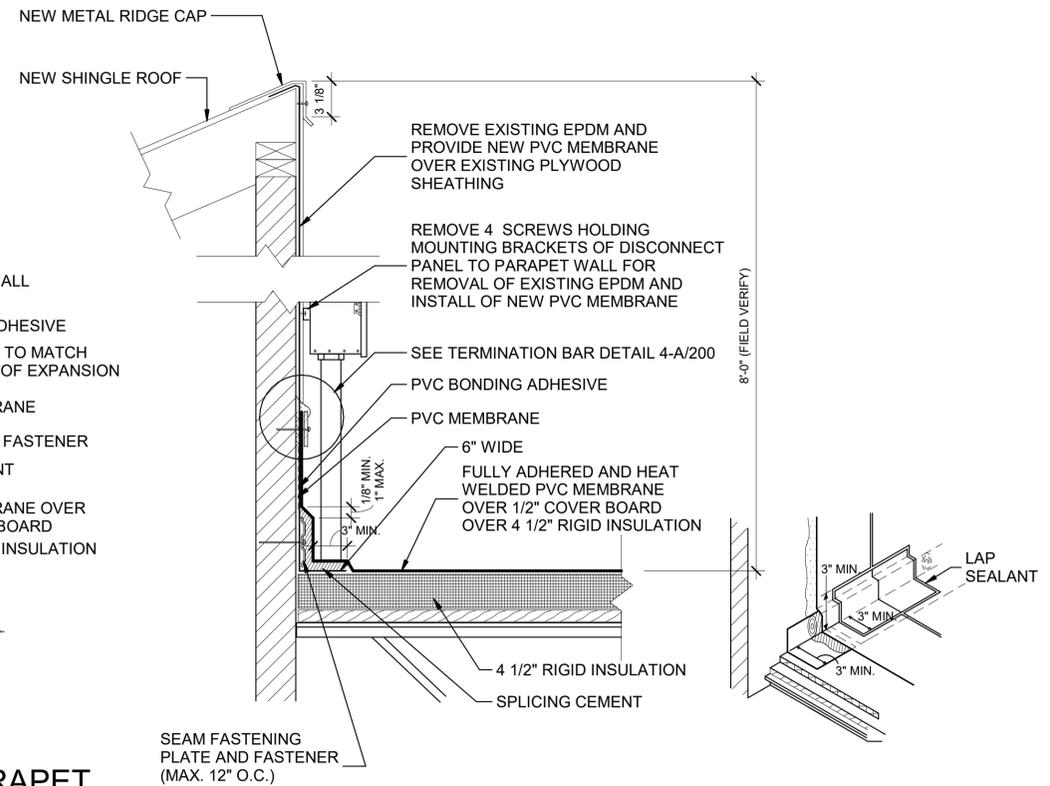


2 EXPANSION JOINT @ WALL OR PARAPET
SCALE: 3" = 1'-0"

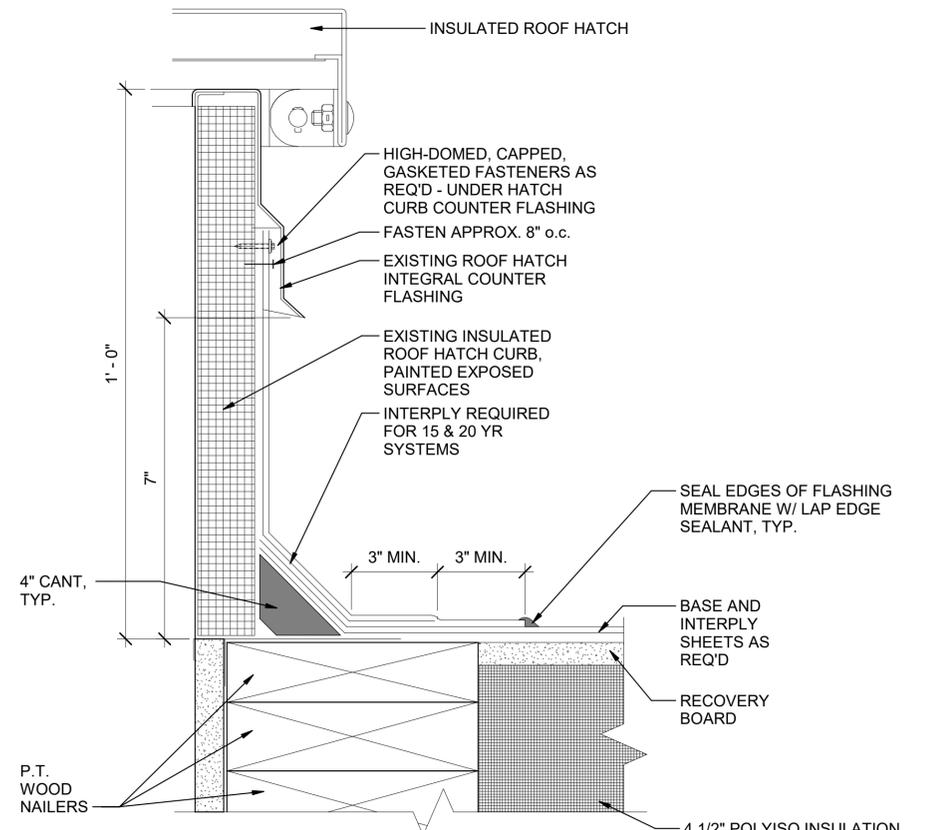
- NOTES:
1. FASTEN MEMBRANE FLASHING 12" O.C. IF FASTENER PENETRATES METAL COUNTERFLASHING, USE PVC WASHER OR APPLY WATER CUT-OFF MASTIC OR CAULK FASTENER HEAD.
 2. 6" WIDE UNCURED ELASTOFOAM FLASHING OR PRESSURE SENSITIVE FLASHING MUST BE CENTERED OVER FIELD SPLICE AT ANGLE CHANGE.
 3. THIS DETAIL USED FOR POWER VENTILATORS
 4. EXISTING CURB HEIGHT EXTENDED USING 20 GA. SHEET METAL FOR 2 MECHANICAL UNITS ON NORTH EAST CORNER AND SOUTH END OF LOW ROOF CHANGE.



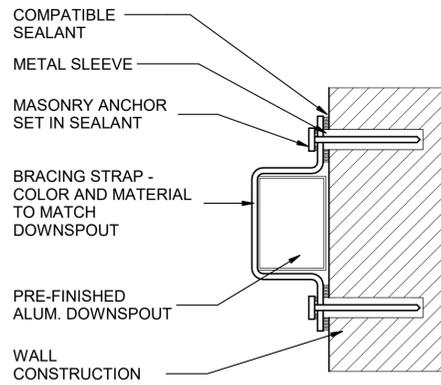
6 CURB DETAIL (TYP)
SCALE: 3" = 1'-0"



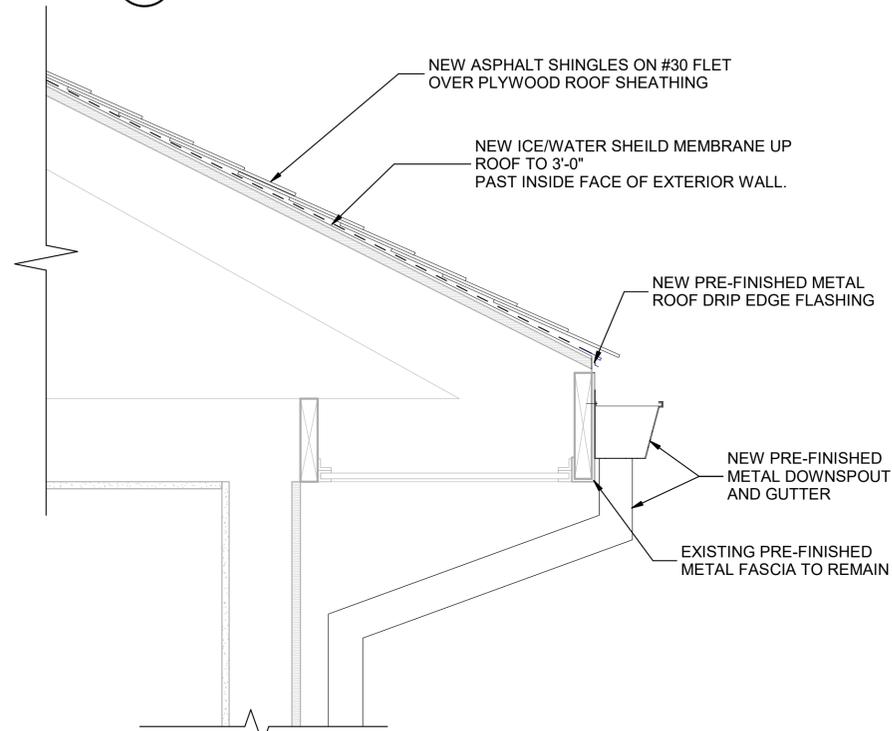
3 WALL/ROOF TRANSITION
SCALE: 1 1/2" = 1'-0"



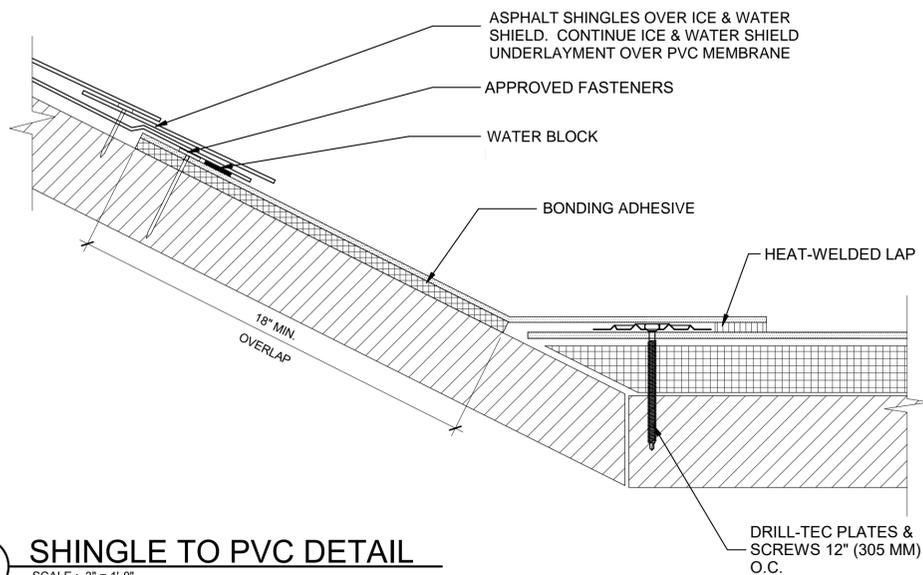
7 ROOF HATCH CURB DETAIL
SCALE: 6" = 1'-0"



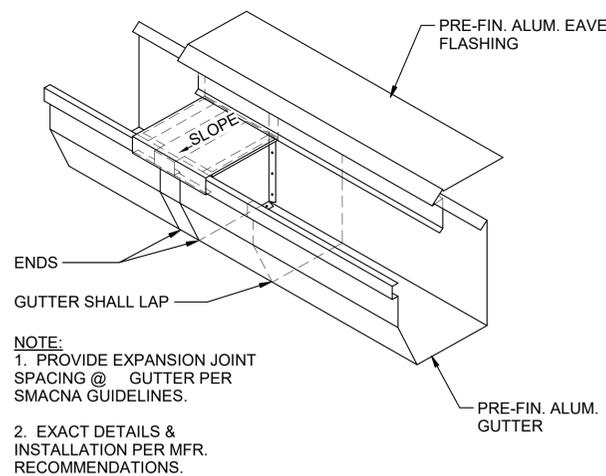
1 DOWNSPOUT BRACING
SCALE: 1 1/2" = 1'-0"



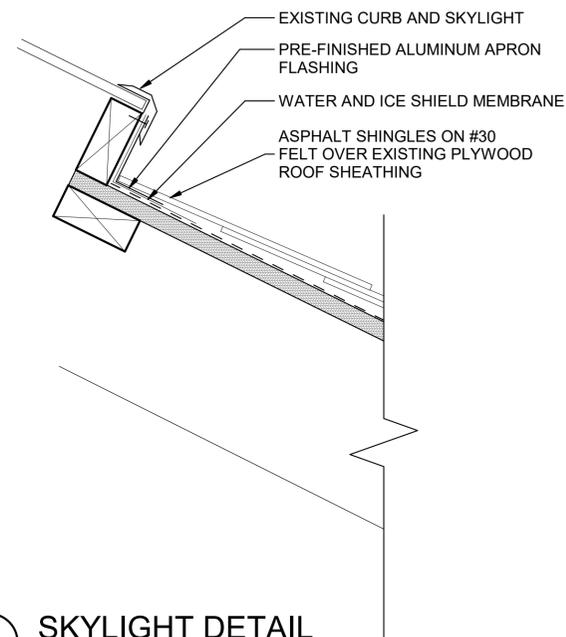
4 ROOF EAVE DETAIL
SCALE: 1 1/2" = 1'-0"



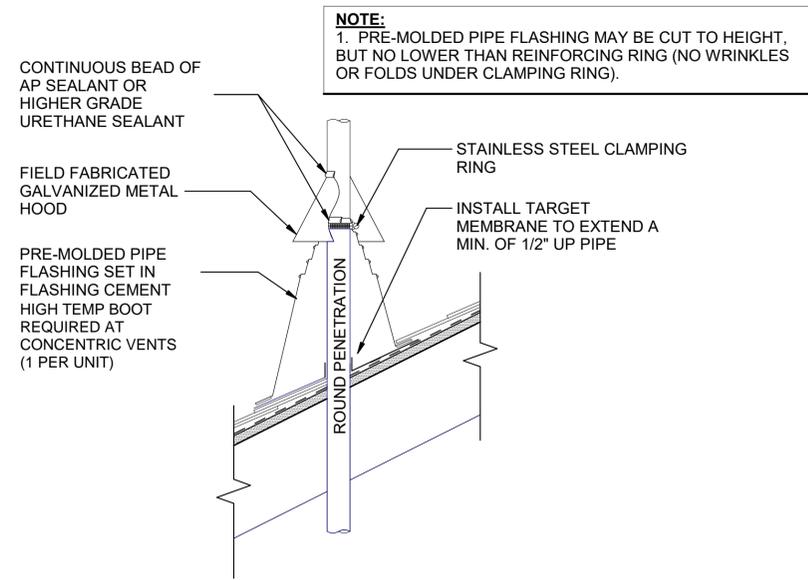
7 SHINGLE TO PVC DETAIL
SCALE: 3" = 1'-0"



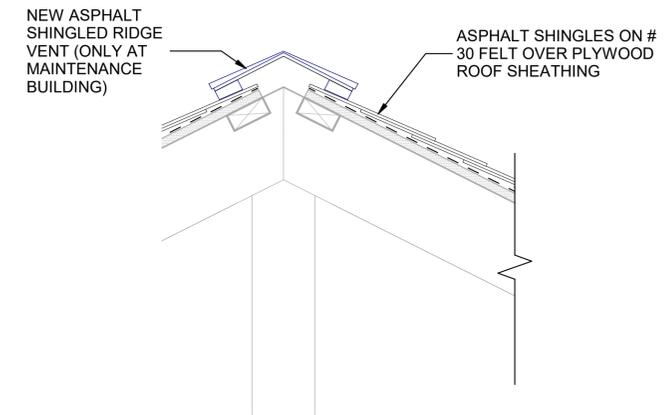
2 GUTTER EXPANSION
SCALE: 1 1/2" = 1'-0"



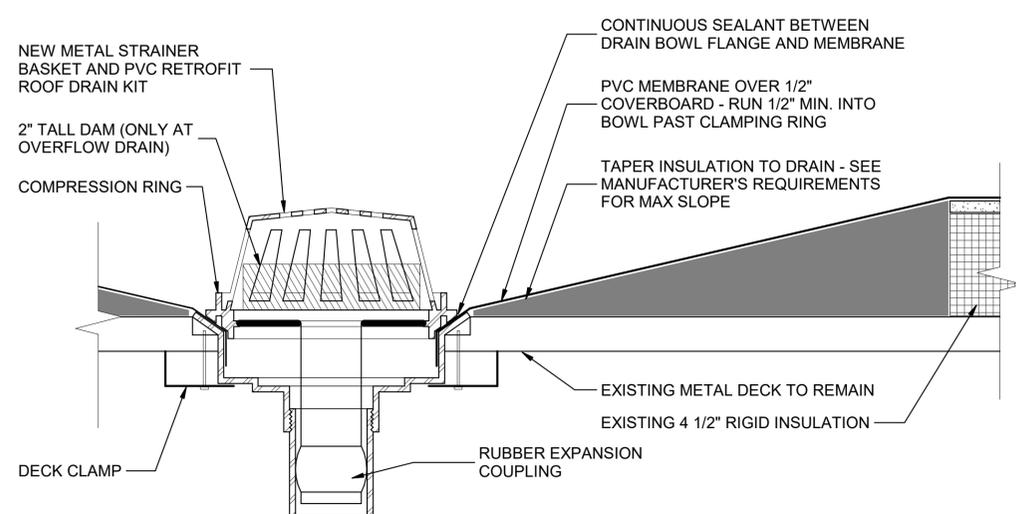
5 SKYLIGHT DETAIL
SCALE: 3" = 1'-0"



3 TYP. PIPE PENETRATION
SCALE: 1 1/2" = 1'-0"



6 TYP. RIDGE VENT
SCALE: 1 1/2" = 1'-0"



8 NEW RETROFIT DRAIN & OVERFLOW ASSEMBLY DETAIL
SCALE: 3" = 1'-0"



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CHECKED BY:

DESIGNED BY:

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ROOF DETAILS

SHEET NUMBER:

A-201

6 OF 6 SHEETS