

REPAVE PARKING LOT PROFESSIONAL REGISTRATION JEFFERSON CITY , MISSOURI

OWNER: STATE OF MISSOURI
MICHAEL L. PARSON,
GOVERNOR

DEPARTMENT OF
OFFICE OF ADMINISTRATION

PROJECT
MANAGEMENT: OFFICE OF ADMINISTRATION
DIVISION OF FACILITIES MANAGEMENT,
DESIGN AND CONSTRUCTION

DESIGNER: STATE OF MISSOURI - OFFICE OF ADMINISTRATION
DIVISION OF FACILITIES MANAGEMENT DESIGN
AND CONSTRUCTION: 301 W. HIGH STREET,
JEFFERSON CITY, MO. 65102

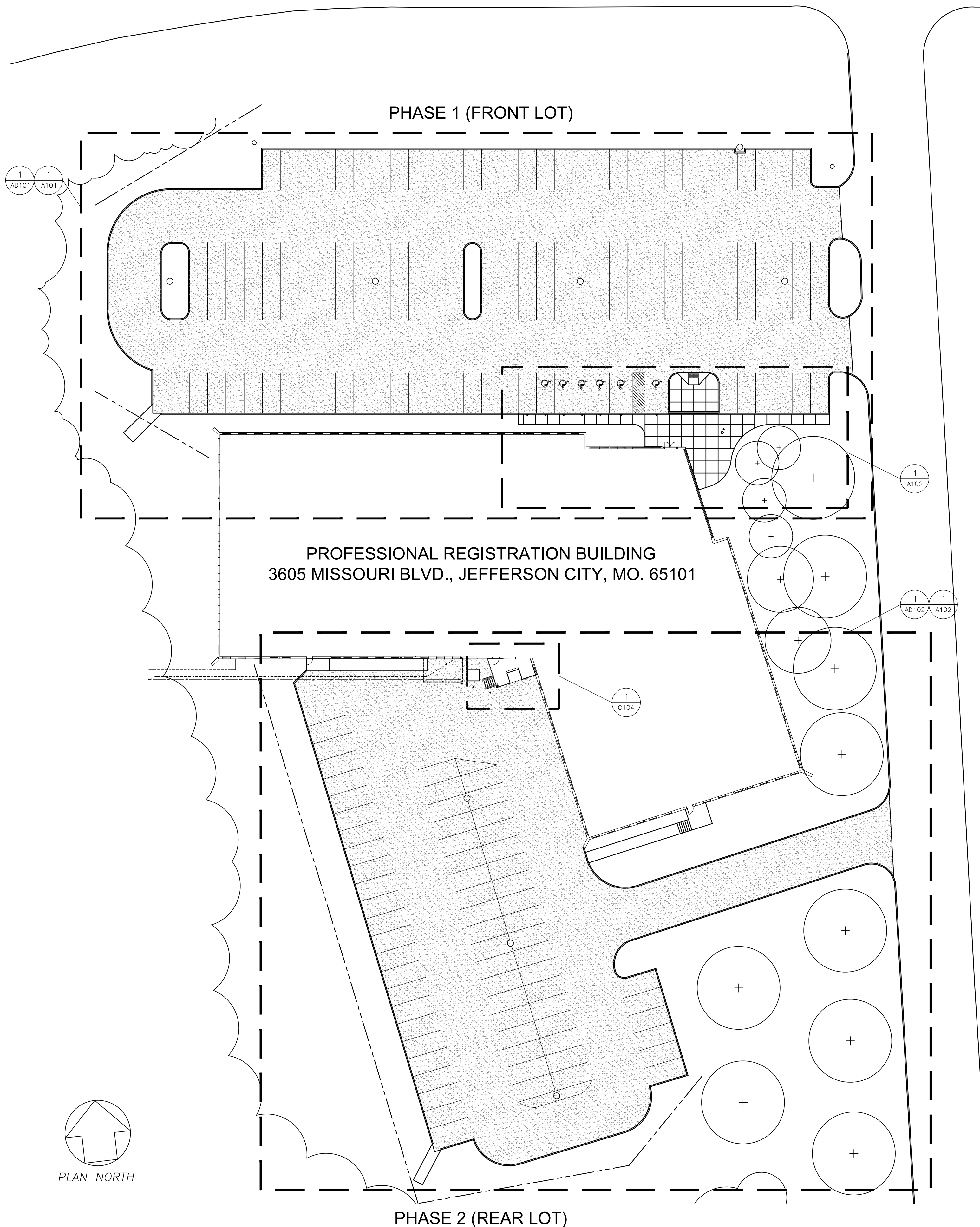
PROJECT NUMBER: O2364-01

ASSET NUMBER: 3101014001

SHEET NUMBER:

G-001

1 OF 9 SHEETS
6/28/2024



1 OVERALL SITE PLAN
SCALE: 1:30

GENERAL NOTES:

- MOST OF THE PROJECT IS A REMOVE AND REPLACE TYPE OF CONSTRUCTION. AS SUCH MOST AREAS DO NOT HAVE DETAILED GRADING DESIGN AS THE REPLACEMENT PAVING WILL MATCH EXISTING PAVING. ALL AREAS WHICH DO NOT SHOW PROPOSED GRADES OR CONTOURS SHALL USE EXISTING GRADES. IT IS RECOMMENDED THE CONTRACTOR SURVEY THE EXISTING CURB HEIGHT AND SET AN OFFSET PRIOR TO REMOVAL AND THEN BUILD THE NEW CURB OFF OF THIS OFFSET.
- PARKING SIGNS AND OTHER STRUCTURES WHICH EXIST THROUGHOUT THE SITE SHALL BE LEFT IN PLACE UNLESS CALLED FOR REMOVAL. IF DISTURBED DURING CONSTRUCTION, THE CONTRACTOR SHALL REINSTALL OR REPLACE.
- ALL WORK ON THE CITY OF JEFFERSON RIGHT OF WAY, PRIMARILY THE STREET CONNECTIONS, REQUIRES THAT THE CITY OF JEFFERSON DEPARTMENT OF PUBLIC WORKS BE NOTIFIED PRIOR TO BEGINNING WORK. IF THE WORK IS SUCH THAT IT REQUIRES A LANE SHUTDOWN, THE CITY MAY REQUIRE A TRAFFIC CONTROL PLAN. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PRODUCING THIS PLAN FOR CITY APPROVAL AND SHALL BE BASED UPON THE CONTRACTOR'S MEANS AND METHODS.
- THE CONTRACTOR SHALL ENGAGE A PUBLIC AND PRIVATE UTILITY LOCATE SERVICE IN AREAS WHERE GRADING WILL TAKE PLACE. ALL UTILITY LOCATIONS ARE APPROXIMATE AND LOCAL UTILITIES SERVICES AND MISSOURI ONE CALL SHALL BE CONTACTED TO CONFIRM LOCATIONS PRIOR TO EXCAVATION.
- MOST AREAS CONSIST OF REPLACEMENT PAVING AND CURB. AREAS WHICH ARE TO BE DEMOLISHED, BUT NOT RE-PAVED ARE CALLED OUT AS SUCH. REFER TO DEMOLITION PLANS.
- PROJECT PHASING: THIS PROJECT WILL REQUIRE PHASING AND COORDINATION WITH THE OPERATIONS OF THIS FACILITY. THE CONTRACTOR WILL WORK WITH THE STATE OF MISSOURI, AND ARCHITECT TO SUBMIT A PROJECT PHASING PLAN.
- QUANTITY DISCLAIMER: VARIOUS QUANTITIES ARE SHOWN ON THE PLAN SHEETS, SUCH AS AREA OF PAVING IN EACH PROJECT AREA. THE CONTRACTOR IS RESPONSIBLE FOR VERIFYING ALL QUANTITIES AND NO ADDITIONAL PAYMENTS WILL BE MADE IF FINAL QUANTITIES DO NOT MATCH PLANS.
- THE CONTRACTOR IS RESPONSIBLE FOR THE PROVISION OF ALL MATERIALS, TOOLS, EQUIPMENT, AND LABOR NECESSARY TO CONTROL EROSION, SILTATION, AND DISCHARGES OF FILL MATERIAL (SEDIMENT) INTO DOWNSTREAM SYSTEMS. THIS SHALL BE REQUIRED DURING ALL PHASES OF CONSTRUCTION AND UNTIL SUITABLE GROUND COVER IS ESTABLISHED FOR ALL DISTURBED AREAS. IF ANY METHOD OF CONTROL FAILS, THE CONTRACTOR SHALL NOTIFY THE OWNER IMMEDIATELY, SO THAT THE OWNER CAN REVIEW THE CONTRACTOR'S PROPOSED METHOD OF REPAIR.
- CONTRACTOR SHALL PROVIDE TEMPORARY EROSION CONTROL AS SHOWN ON THE DRAWINGS AND AS DIRECTED BY THE DESIGNER. EROSION FENCE AND BEST MANAGEMENT PRACTICES SHALL REMAIN IN PLACE UNTIL THE PROJECT IS COMPLETED AND GRASS IS ESTABLISHED. THE CONTRACTOR SHALL MONITOR EROSION AND SEDIMENT CONTROL MEASURES THROUGHOUT THE PROJECT. PROVIDE SWPPP AND ASSOCIATED INSPECTIONS.
- IMMEDIATELY AFTER MOBILIZATION AND PRIOR TO STARTING ANY SOIL DISTURBING ACTIVITIES, THE CONTRACTOR SHALL INSTALL THE PERIMETER EROSION AND SEDIMENT CONTROL MEASURES. SEE LAND DISTURBANCE IN APPENDIX 1.
- THE CONSTRUCTION ENTRANCE SHALL BE MAINTAINED BY THE CONTRACTOR IN A CONDITION THAT WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC RIGHT-OF-WAYS AND PAVED STREETS. CLEANING ON A DAILY BASIS OF RIGHT-OF-WAYS AND STREETS THAT HAVE BEEN SOILED BY CONSTRUCTION ACTIVITIES SHALL BE THE CONTRACTOR'S RESPONSIBILITY.
- NO GROUND SHALL BE LEFT OPEN FOR MORE THAN 14 DAYS OF NON-ACTIVITY WITHOUT BEING SEEDED AND MULCHED. SOIL STOCKPILED FOR MORE THAN 7 DAYS SHALL HAVE SILT FENCE OR BALES PLACED ON THE DOWNHILL SLOPE TO TRAP SEDIMENT.

SHEET LIST:

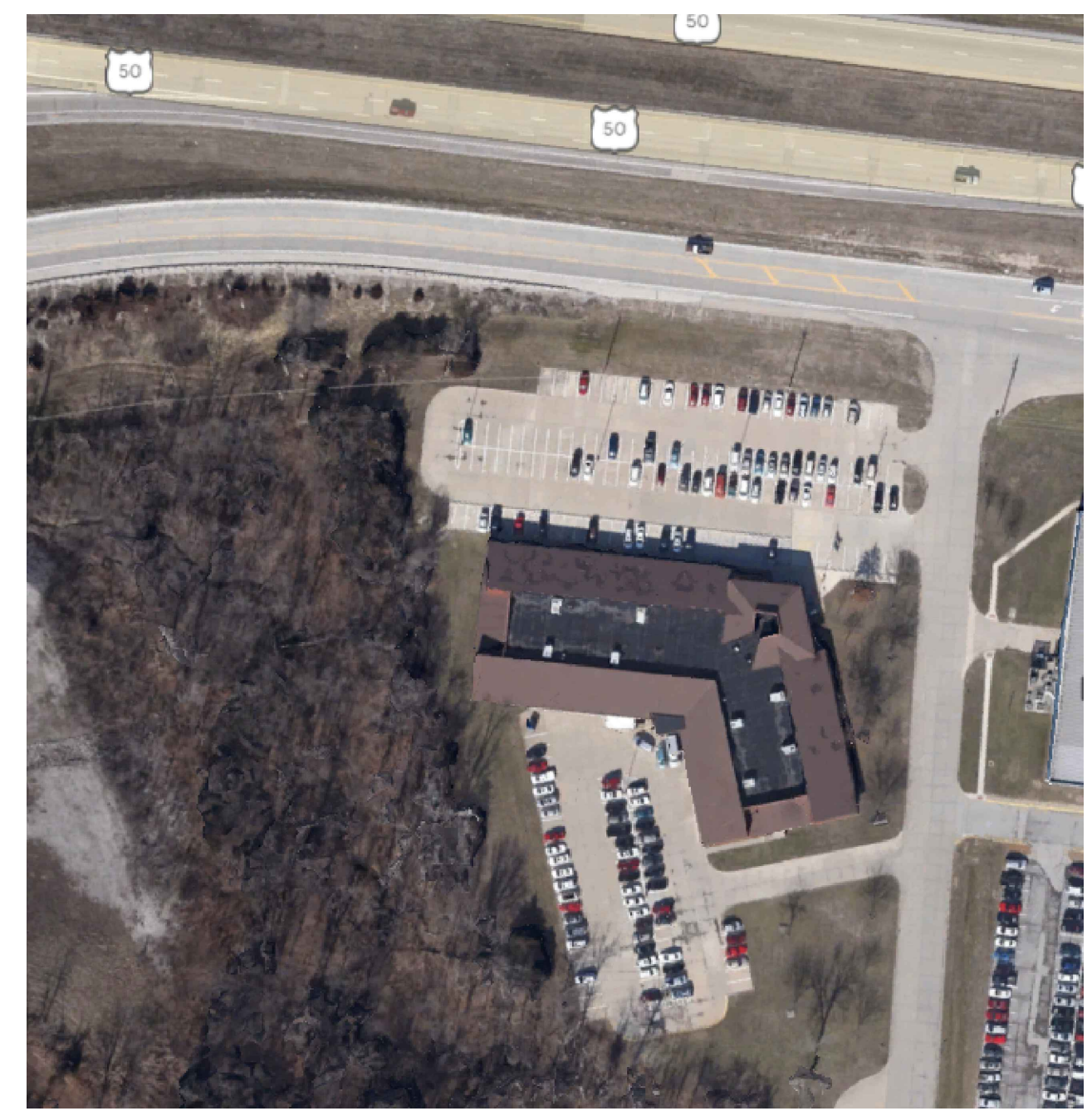
- G-001 - COVERSHEET
- G-002 - DRAWING INDEX AND LOCATION MAP
- AD-101 - FRONT LOT DEMOLITION PLAN
- AD-102 - REAR LOT DEMOLITION PLAN
- A-101 - FRONT LOT NEW WORK PLAN
- A-102 - REAR LOT NEW WORK PLAN
- A-103 - FRONT ENTRY SIDEWALK NEW WORK PLAN
- A-104 - LOADING DOCK NEW WORK PLAN
- A-500 - DETAILS

GRADING NOTES:

- ALL QUANTITIES SHALL BE CALCULATED BY THE CONTRACTOR AND INCLUDE ALL ITEMS NECESSARY TO COMPLETE THE WORK.
- THE CONTRACTOR SHALL OBTAIN ALL NECESSARY PERMITS REQUIRED FOR THE SITE GRADING.
- ALL GROUND SURFACES SHALL VARY UNIFORMLY BETWEEN INDICATED ELEVATIONS.
- GRADING PLAN REFLECTS TOP OF TURF OR PAVEMENT ELEVATION UNLESS OTHERWISE NOTED.
- CONTRACTOR SHALL PROVIDE AND MAINTAIN POSITIVE DRAINAGE DURING ALL PHASES OF CONSTRUCTION.
- EXISTING UTILITIES AS SHOWN ARE APPROXIMATE LOCATIONS ONLY. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO VERIFY THE LOCATIONS OF ALL EXISTING PUBLIC AND PRIVATE UTILITIES PRIOR TO THE START OF CONSTRUCTION WORK. ANY DAMAGE TO EXISTING STRUCTURES, UTILITIES, FENCES, AND/OR INCIDENTALS NOT DESIGNATED FOR REMOVAL SHALL BE REPAIRED AT THE CONTRACTOR'S EXPENSE.
- ALL PROPOSED SIDEWALKS SHALL HAVE A MINIMUM OF 1% CROSS SLOPE AND A MAXIMUM OF 2.00% CROSS SLOPE UNLESS OTHERWISE NOTED.
- THE CONTRACTOR IS RESPONSIBLE FOR THE PROVISION OF ALL MATERIALS, TOOLS, EQUIPMENT AND LABOR NECESSARY TO CONTROL EROSION, SILTATION AND DISCHARGES OF FILL MATERIAL (SEDIMENT) INTO DOWNSTREAM SYSTEMS OR RECEIVING CHANNELS. THIS SHALL BE REQUIRED DURING ALL PHASES OF CONSTRUCTION AND UNTIL SUITABLE GROUND COVER IS ESTABLISHED FOR ALL DISTURBED AREAS. IF ANY METHOD OF CONTROL FAILS, THE CONTRACTOR SHALL NOTIFY THE OWNER IMMEDIATELY, SO THAT THE OWNER OR HIS AGENT CAN REVIEW THE CONTRACTOR'S PROPOSED METHOD OF REPAIR. REFER TO EROSION CONTROL SHEET FOR MORE NOTES AND INFORMATION.
- ALL DISTURBED AREAS SHALL BE SEEDED, FERTILIZED AND MULCHED, OR SODDED, IN ACCORDANCE WITH THE STANDARDS AND SPECIFICATIONS ADOPTED BY THE REVIEWING GOVERNING AGENCY. THIS SHALL BE COMPLETED WITHIN SEVEN (7) DAYS AFTER COMPLETING THE WORK, IN ANY AREA. IF THIS IS OUTSIDE THE SEASONAL SEEDING PERIOD, SILT FENCES SHALL BE INSTALLED AS REQUIRED UNTIL SUCH TIME THAT THE AREA(S) CAN BE SEEDED.
- SILT FENCES WILL REQUIRE MAINTENANCE TO PRESERVE THEIR EFFECTIVENESS. ALL SILT FENCES SHALL BE INSPECTED IMMEDIATELY AFTER EACH HEAVY RAINSTORM AND AT LEAST DAILY DURING PROLONGED RAINFALL. ANY REQUIRED REPAIRS SHALL BE MADE IMMEDIATELY. WHEN SEDIMENT DEPOSITS REACH APPROXIMATELY ONE-HALF THE HEIGHT OF THE SILT FENCE, THE SEDIMENT SHALL BE REMOVED. ALL COSTS ASSOCIATED WITH THIS WORK, INCLUDING RELATED INCIDENTALS, WILL BE THE CONTRACTOR'S RESPONSIBILITY AND SHALL BE INCLUDED IN THE CONTRACTOR'S BID FOR THE PROPOSED WORK.
- AT ALL BUILDING EXITS INSURE MINIMUM OF 5' LANDING DEPTH (IN DIRECTION OF TRAVEL) AT 2.00% MAXIMUM SLOPE. NO SIDEWALK IS TO EXCEED 5.00% SLOPE UNLESS IT IS AN ADA COMPLIANT RAMP.
- CONTRACTOR SHALL COORDINATE TIMELINE FOR ALL PHASES OF CONSTRUCTION WITH FACILITY REPRESENTATIVE.

LAYOUT NOTES:

- WRITTEN DIMENSIONS SHALL PREVAIL OVER SCALED DIMENSIONS.
- THE CONTRACTOR SHALL FIELD VERIFY ALL DIMENSIONS AND QUANTITIES AND SHALL RECORD "AS-BUILT" DIMENSIONS OR LOCATIONS OF ANY APPURTENANCES IF THEY DIFFER FROM THE PLANS.
- ALL HANDICAPPED SITE FEATURES SHALL BE CONSTRUCTED TO MEET ALL STATE, LOCAL, AND ADA SPECIFICATIONS AS CURRENTLY IN EFFECT.
- UNLESS OTHERWISE SPECIFIED, THE CITY OF JEFFERSON, MISSOURI STANDARD TECHNICAL SPECIFICATIONS AND DETAIL DRAWINGS, LATEST EDITION SHALL GOVERN ALL METHODS AND MATERIALS USED IN CONSTRUCTION. WHERE GAPS EXIST IN THE SPECIFICATIONS OR DETAILS THE CURRENT EFFECTIVE VERSION OF THE MISSOURI DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS AND PLANS SHALL BE USE IN PLACE.
- CONTRACTOR SHALL FINISH ALL DISTURBED AREAS WITH 6"(MIN) TOPSOIL, SEED, FERTILIZE & MULCH IN ACCORDANCE WITH TECHNICAL SPECIFICATIONS.
- ALL EXISTING SIGNS AFFECTED BY CONSTRUCTION SHALL BE REMOVED, STORED, AND RE-INSTALLED EXCEPT FOR SIGNS IDENTIFIED NEEDING REPLACED.



2 SITE LOCATION IMAGE
SCALE: N.T.S.



Brad M. Schaefer - Architect
MO# A-2009027294

**BID
DOCUMENTS**

OFFICE OF ADMINISTRATION
DIVISION OF FACILITIES
MANAGEMENT,
DESIGN AND CONSTRUCTION

DEPARTMENT OF
OFFICE OF
ADMINISTRATION

REPAVE PARKING
LOT

PROFESSIONAL
REGISTRATION BLDG.
3605 MISSOURI BLVD.
JEFFERSON CITY, MO 65109

PROJECT # O2364-01
SITE # 1014
ASSET # 3101014001

REVISION: _____
DATE: _____
REVISION: _____
DATE: _____
REVISION: _____
DATE: _____
ISSUE DATE: 6/28/2024

CAD DWG FILE: _____
DRAWN BY: RTG
CHECKED BY: BMS
DESIGNED BY: BMS

SHEET TITLE:
**DRAWING INDEX
AND LOCATION MAP**

SHEET NUMBER:

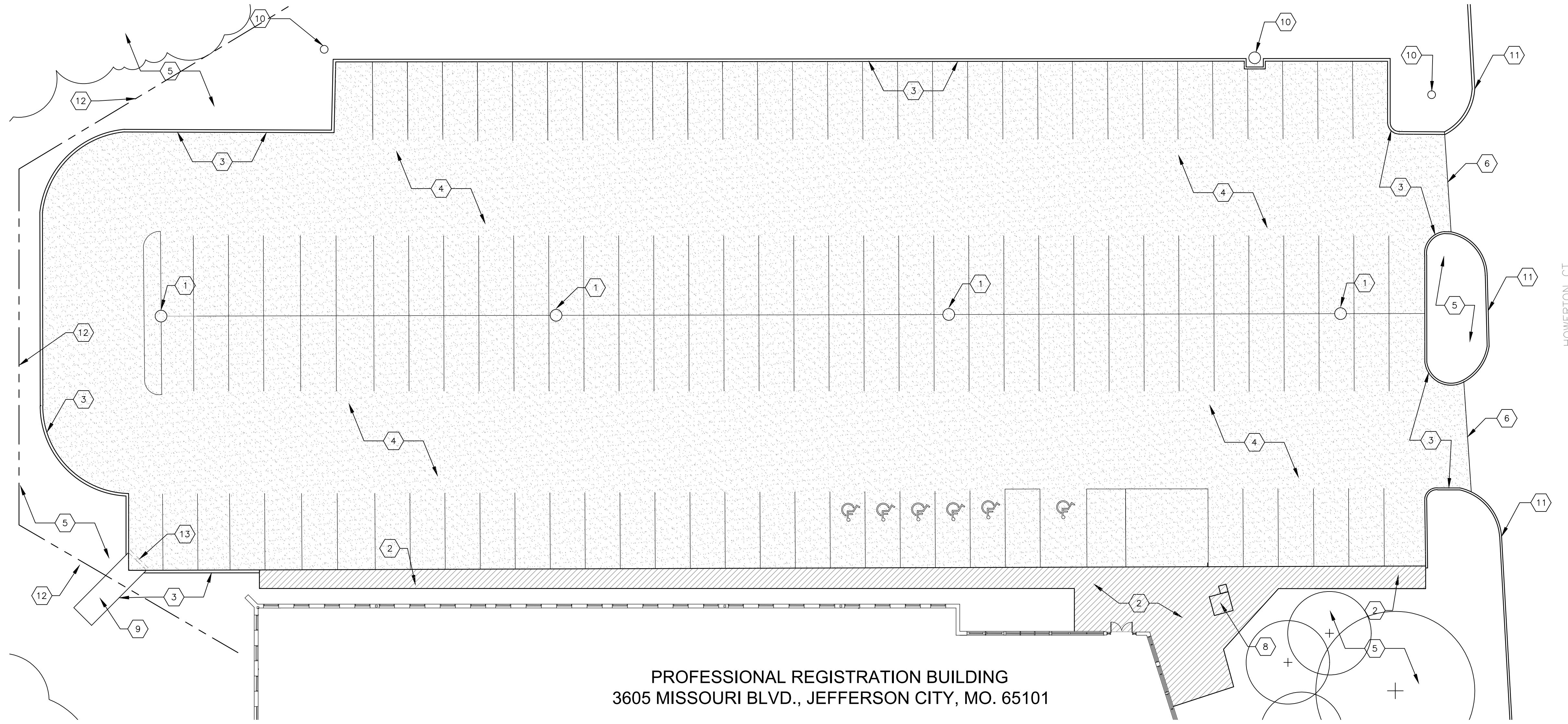
G-002

FRONT PARKING LOT
EXISTING PARKING
- 6 ADA PARKING STALLS
- 128 PARKING STALLS
- 134 PARKING STALLS TOTAL
PROPOSED PARKING
- 4 STANDARD ADA PARKING STALLS
- 2 VAN ADA PARKING STALLS
- 125 PARKING STALLS
- 131 PARKING STALLS TOTAL

PAVING LEGEND:

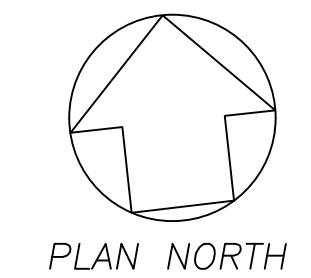
REMOVE EXISTING PAVEMENT INCLUDING CURB AND GUTTER

- GENERAL NOTES:**
- ALL UTILITY INFORMATION SHOWN HEREIN IS BASED ON THE INFORMATION AVAILABLE TO THE DESIGN PROFESSIONAL AT THE TIME OF DESIGN. THE CONTRACTOR SHALL VERIFY ALL PUBLIC AND PRIVATE UTILITY DEPTHS AND LOCATIONS PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR CONTACTING ALL UTILITY COMPANIES TO FIELD LOCATE AND/OR ADJUST THEIR UTILITY AS REQUIRED FOR CONSTRUCTION. ALL UTILITY LOCATIONS SHOWN ON THE PLANS ARE APPROXIMATE AND THE DESIGN PROFESSIONAL ASSUMES NO LIABILITY FOR SAME.
 - CONTRACTOR SHALL MAINTAIN POSITIVE DRAINAGE DURING DEMOLITION AND IS RESPONSIBLE FOR ALL DEWATERING NECESSARY FOR CONSTRUCTION.
 - CARE SHALL BE EXERCISED BY THE CONTRACTOR TO PRESERVE AND/OR PROTECT ANY EXISTING VEGETATION OUTSIDE OF CONSTRUCTION AREAS. THE CONTRACTOR SHALL BE HELD RESPONSIBLE FOR ALL COSTS OF REPLACEMENT MATERIALS AND LABOR.
 - ALL WASTE EXCAVATION, CONSTRUCTION MATERIALS, DEMOLISHED STRUCTURES AND DEBRIS SHALL BE REMOVED FROM THE SITE PER THE JEFFERSON CITY, MISSOURI STANDARDS AND SPECIFICATIONS.
 - ALL EXCAVATED OR OTHERWISE DISTURBED AREAS SHALL BE RETURNED TO THEIR ORIGINAL CONDITION AS NEARLY AS IS PRACTICAL. THE REPLACEMENT MATERIALS SHALL BE COMPACTED SO AS TO PREVENT SETTLEMENT. ANY PARKING OR DRIVE SURFACING, SIDEWALK OR ESTABLISHED LAWN AREAS SHALL BE REPLACED IN KIND OR AS SHOWN HEREIN.
 - PAVEMENT TO BE REMOVED AS INDICATED SHALL BE SAWCUT TO NEAT LINES OR TO EXISTING JOINTS AND HAULED FROM SITE BY THE CONTRACTOR, AT HIS EXPENSE.
 - THE CONTRACTOR SHALL BE RESPONSIBLE FOR AN NPDES PERMIT AND ALL OTHER PERMITTING, FOLLOWING APPLICABLE STATE AND LOCAL EROSION AND SEDIMENTATION CONTROL REQUIREMENTS AS NECESSARY.
 - ALL DEMOLITION SHALL COMPLY WITH THE JEFFERSON CITY, MISSOURI STANDARDS AND SPECIFICATIONS.
 - THE CONTRACTOR IS RESPONSIBLE FOR ALL BARRICADES REQUIRED FOR SAFETY IN AND AROUND THE CONSTRUCTION SITE. CONTINUOUS MAINTENANCE OF TRAFFIC CONTROL DEVICES DURING THE TERM OF THIS PROJECT IS THE CONTRACTOR'S RESPONSIBILITY. ALL TRAFFIC CONTROL DEVICES SHALL MEET THE REQUIREMENTS OF THE LATEST VERSION OF THE "MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES FOR STREETS AND HIGHWAYS."
 - ALL EXISTING STRUCTURES WITHIN THE CONSTRUCTION LIMITS SHALL BE PROTECTED BY MEANS OF FENCING AND OTHER DEVICES. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO PROTECT THESE STRUCTURES AND CLEAN UP ALL DEBRIS NEAR, ON, OR AROUND THESE STRUCTURES AT COMPLETION OF WORK.
 - THE CONTRACTOR SHALL VERIFY ALL DEMOLITION DIMENSIONS SHOWN PRIOR TO COMMENCING DEMOLITION.
 - THE CONTRACTOR SHALL ESTABLISH STAGING, STORAGE AND PARKING AREAS PER APPROVAL OF THE OWNER. THE AREAS SHALL BE FENCED WITH TEMPORARY FENCING AS APPROVED BY THE OWNER.
 - THE CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING AND PROTECTING ALL SURVEY STAKES (CONTROL POINTS, REFERENCE POINTS, BENCH MARKS, PROPERTY AND OFFSET CORNERS, AND ALL OTHER ESSENTIAL HORIZONTAL AND VERTICAL SURVEY CONTROL POINTS) UNTIL CONSTRUCTION ACTIVITY IS COMPLETED. THE CONTRACTOR SHALL PAY FOR RE-STAKING ANY SURVEY STAKES THAT ARE DESTROYED.
 - THE CONTRACTOR SHALL BE AWARE OF ANY EXISTING SPRINKLER SYSTEM AND SHALL NOT BE DISTURBED BY CONTRACTOR.

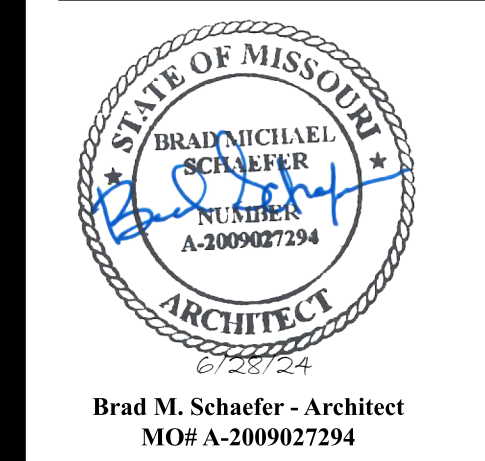


PROFESSIONAL REGISTRATION BUILDING
3605 MISSOURI BLVD., JEFFERSON CITY, MO. 65101

1 FRONT PARKING LOT DEMOLITION PLAN
SCALE: 1/16"=1'-0"



- DEMOLITION KEYNOTES:**
- DND ALL LIGHT POLES IN PARKING LOT. CONTRACTOR TO FIELD LOCATE ELECTRICAL SUPPLY
 - HATCHING INDICATES EXISTING SIDEWALK TO BE REMOVED.
 - REMOVE ALL CURB & GUTTER INSIDE LIMITS OF CONSTRUCTION
 - REMOVE ALL CONCRETE PARKING LOT, SIDEWALK AND AGGREGATE BASE EXCEPT WHERE NOTED. DND EXISTING CONCRETE PADS NEXT TO BUILDING ENTRANCES.
 - DND ALL TREES AND LANDSCAPING EXCEPT AS SPECIFICALLY CALLED OUT
 - LIMITS OF CONSTRUCTION - CURB AND DRIVE CUTS
 - DEMOLISH AND REMOVE EXISTING LOADING DOCK. SUPPORT EXISTING ROOF STRUCTURE DURING DEMOLITION. RE: SHEET C104 FOR DETAILS
 - EXISTING ELECTRICAL LIGHTING SUPPLY TO BE DISCONNECTED AND REMAIN.
 - EXISTING DRAIN TO BE REMOVED
 - EXISTING SITE UTILITIES TO REMAIN IN PLACE AND NOT TO BE DISTURBED.
 - EXISTING CURB TO REMAIN.
 - EROSION CONTROL SILT FENCE. REFER TO SPECIFICATION SECTION 015713 "EROSION AND SEDIMENT CONTROL" AND SWPPP PLAN
 - EROSION CONTROL BARRIER AT DRAINAGE. REFER TO SPECIFICATION SECTION 015713 "EROSION AND SEDIMENT CONTROL" AND SWPPP PLAN



BID DOCUMENTS

OFFICE OF ADMINISTRATION
DIVISION OF FACILITIES
MANAGEMENT,
DESIGN AND CONSTRUCTION

DEPARTMENT OF
OFFICE OF
ADMINISTRATION

REPAVE PARKING
LOT

PROFESSIONAL
REGISTRATION BLDG.
3605 MISSOURI BLVD.
JEFFERSON CITY, MO 65109

PROJECT # O2364-01
SITE # 1014
ASSET # 3101014001

REVISION: _____
DATE: _____
REVISION: _____
DATE: _____
REVISION: _____
DATE: _____
ISSUE DATE: 6/28/2024

CAD DWG FILE: _____
DRAWN BY: RTG
CHECKED BY: BMS
DESIGNED BY: BMS

SHEET TITLE:
**FRONT LOT
DEMOLITION PLAN**

SHEET NUMBER:
AD-101
3 OF 9 SHEETS
6/28/2024

REAR PARKING LOT EXISTING PARKING - 66 PARKING STALLS TOTAL
PROPOSED PARKING - 67 PARKING STALLS TOTAL

PAVING LEGEND:

 REMOVE EXISTING PAVEMENT INCLUDING CURB AND GUTTER

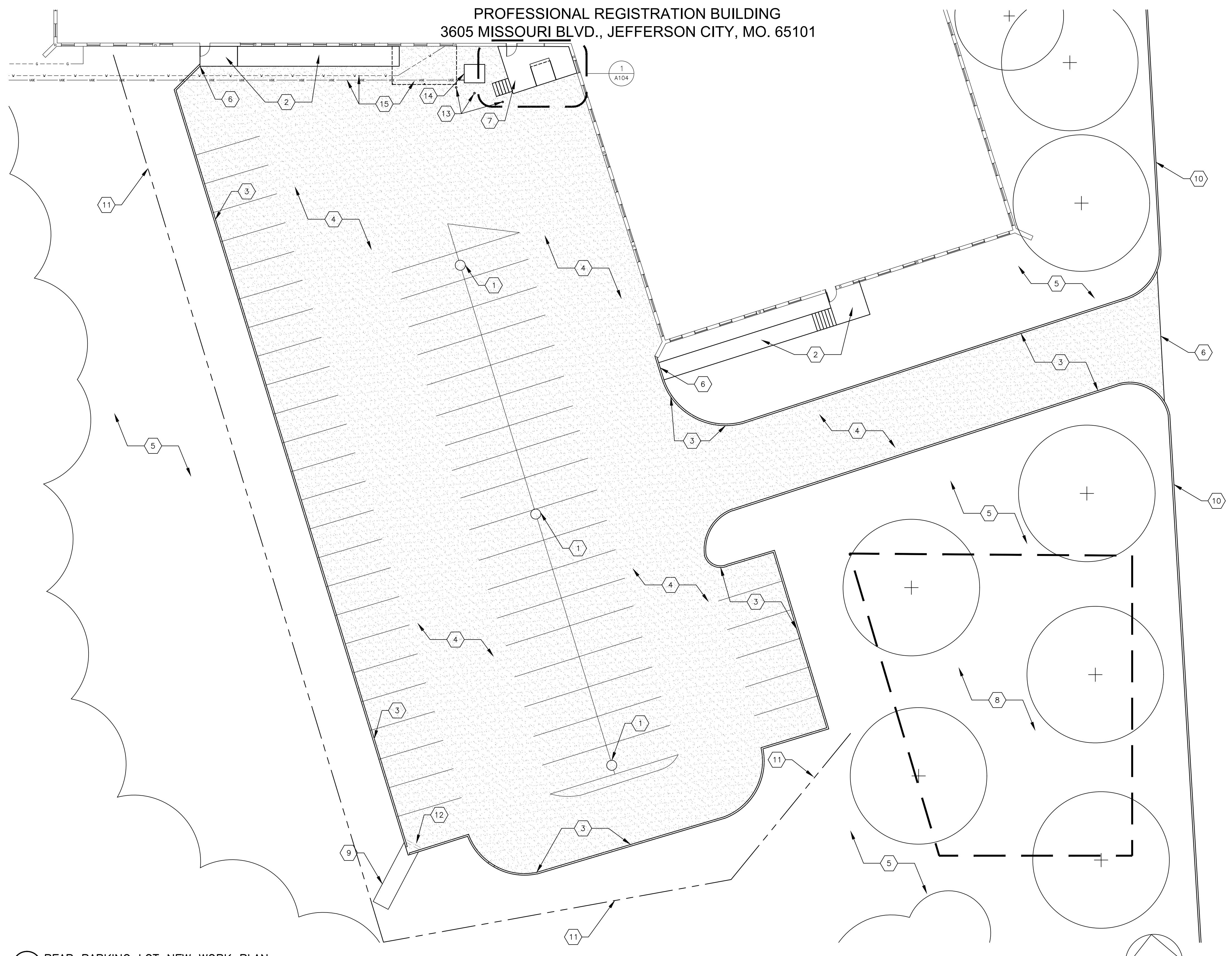
GENERAL NOTES:

- ALL UTILITY INFORMATION SHOWN HEREIN IS BASED ON THE INFORMATION AVAILABLE TO THE DESIGN PROFESSIONAL AT THE TIME OF DESIGN. THE CONTRACTOR SHALL VERIFY ALL PUBLIC AND PRIVATE UTILITY DEPTHS AND LOCATIONS PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR CONTACTING ALL UTILITY COMPANIES TO FIELD LOCATE AND/OR ADJUST THEIR UTILITY AS REQUIRED FOR CONSTRUCTION. ALL UTILITY LOCATIONS SHOWN ON THE PLANS ARE APPROXIMATE AND THE DESIGN PROFESSIONAL ASSUMES NO LIABILITY FOR SAME.
- CONTRACTOR SHALL MAINTAIN POSITIVE DRAINAGE DURING DEMOLITION AND IS RESPONSIBLE FOR ALL DEWATERING NECESSARY FOR CONSTRUCTION.
- CARE SHALL BE EXERCISED BY THE CONTRACTOR TO PRESERVE AND/OR PROTECT ANY EXISTING VEGETATION OUTSIDE OF CONSTRUCTION AREAS. THE CONTRACTOR SHALL BE HELD RESPONSIBLE FOR ALL COSTS OF REPLACEMENT MATERIALS AND LABOR.
- ALL WASTE EXCAVATION, CONSTRUCTION MATERIALS, DEMOLISHED STRUCTURES AND DEBRIS SHALL BE REMOVED FROM THE SITE PER THE JEFFERSON CITY, MISSOURI STANDARDS AND SPECIFICATIONS.
- ALL EXCAVATED OR OTHERWISE DISTURBED AREAS SHALL BE RETURNED TO THEIR ORIGINAL CONDITION AS NEARLY AS IS PRACTICAL. THE REPLACEMENT MATERIALS SHALL BE COMPACTED SO AS TO PREVENT SETTLEMENT. ANY PARKING OR DRIVE SURFACING, SIDEWALK OR ESTABLISHED LAWN AREAS SHALL BE REPLACED IN KIND OR AS SHOWN HEREIN.
- PAVEMENT TO BE REMOVED AS INDICATED SHALL BE SAWCUT TO NEAT LINES OR TO EXISTING JOINTS AND HAULED FROM SITE BY THE CONTRACTOR, AT HIS EXPENSE.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR AN NPDES PERMIT AND ALL OTHER PERMITTING, FOLLOWING APPLICABLE STATE AND LOCAL EROSION AND SEDIMENTATION CONTROL REQUIREMENTS AS NECESSARY.
- ALL DEMOLITION SHALL COMPLY WITH THE JEFFERSON CITY, MISSOURI STANDARDS AND SPECIFICATIONS.
- THE CONTRACTOR IS RESPONSIBLE FOR ALL BARRICADES REQUIRED FOR SAFETY IN AND AROUND THE CONSTRUCTION SITE. CONTINUOUS MAINTENANCE OF TRAFFIC CONTROL DEVICES DURING THE TERM OF THIS PROJECT IS THE CONTRACTOR'S RESPONSIBILITY. ALL TRAFFIC CONTROL DEVICES SHALL MEET THE REQUIREMENTS OF THE LATEST VERSION OF THE "MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES FOR STREETS AND HIGHWAYS."
- ALL EXISTING STRUCTURES WITHIN THE CONSTRUCTION LIMITS SHALL BE PROTECTED BY MEANS OF FENCING AND OTHER DEVICES. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO PROTECT THESE STRUCTURES AND CLEAN UP ALL DEBRIS NEAR, ON, OR AROUND THESE STRUCTURES AT COMPLETION OF WORK.
- THE CONTRACTOR SHALL VERIFY ALL DEMOLITION DIMENSIONS SHOWN PRIOR TO COMMENCING DEMOLITION.
- THE CONTRACTOR SHALL ESTABLISH STAGING, STORAGE AND PARKING AREAS PER APPROVAL OF THE OWNER. THE AREAS SHALL BE FENCED WITH TEMPORARY FENCING AS APPROVED BY THE OWNER.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING AND PROTECTING ALL SURVEY STAKES (CONTROL POINTS, REFERENCE POINTS, BENCH MARKS, PROPERTY AND OFFSET CORNERS, AND ALL OTHER ESSENTIAL HORIZONTAL AND VERTICAL SURVEY CONTROL POINTS) UNTIL CONSTRUCTION ACTIVITY IS COMPLETED. THE CONTRACTOR SHALL PAY FOR RE-STAKING ANY SURVEY STAKES THAT ARE DESTROYED.
- THE CONTRACTOR SHALL BE AWARE OF ANY EXISTING SPRINKLER SYSTEM AND SHALL NOT BE DISTURBED BY CONTRACTOR.

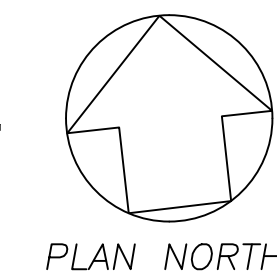
DEMOLITION KEYNOTES:

- DND ALL LIGHT POLES IN PARKING LOT. CONTRACTOR TO FIELD LOCATE ELECTRICAL SUPPLY
- EXIST. SIDEWALK TO REMAIN. CURB TO MATCH GRADE
- REMOVE ALL CURB & GUTTER INSIDE LIMITS OF CONSTRUCTION
- REMOVE ALL CONCRETE PARKING LOT, SIDEWALK AND AGGREGATE BASE EXCEPT WHERE NOTED. DND EXISTING CONCRETE PADS NEXT TO BUILDING ENTRANCES.
- DND ALL TREES AND LANDSCAPING EXCEPT AS SPECIFICALLY CALLED OUT
- LIMITS OF CONSTRUCTION - CURB AND DRIVE CUTS
- DEMOLISH AND REMOVE EXISTING LOADING DOCK. SUPPORT EXISTING ROOF STRUCTURE DURING DEMOLITION. RE: SHEET C104 FOR DETAILS
- AREA AVAILABLE FOR CONSTRUCTION STAGING. CONFIRM WITH OWNER
- EXISTING DRAIN TO BE REMOVED
- EXISTING CURB TO REMAIN
- EROSION CONTROL SILT FENCE. REFER TO SPECIFICATION SECTION 015713 "EROSION AND SEDIMENT CONTROL" AND SWPPP PLAN
- EROSION CONTROL BARRIER AT DRAINAGE. REFER TO SPECIFICATION SECTION 015713 "EROSION AND SEDIMENT CONTROL" AND SWPPP PLAN
- REMOVE AND REINSTALL CONCRETE FILLED STEEL BOLLARDS IN ORIGINAL LOCATION
- ELECTRICAL TRANSFORMER AND PAD TO REMAIN.
- REMOVE AND REINSTALL LIGHT GAUGE METAL CANOPY AND COLUMNS IN ORIGINAL LOCATION
- APPROXIMATE LOCATION OF EXISTING UTILITY LINES. CONTRACTOR TO LOCATE ALL PRIVATE AND PUBLIC UTILITIES PRIOR TO EXCAVATION

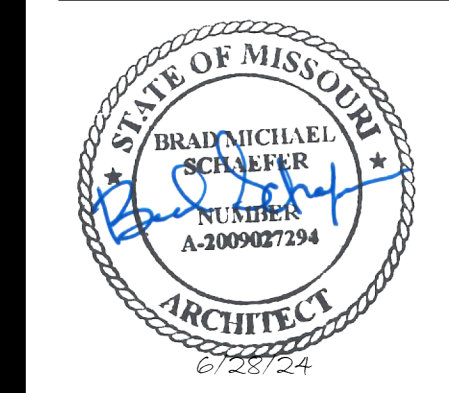
PROFESSIONAL REGISTRATION BUILDING
3605 MISSOURI BLVD., JEFFERSON CITY, MO. 65101



1 REAR PARKING LOT NEW WORK PLAN
SCALE: 1/16"=1'-0"



STATE OF MISSOURI
MICHAEL L. PARSON,
GOVERNOR



Brad M. Schaefer - Architect
MO# A-2009027294

BID DOCUMENTS

OFFICE OF ADMINISTRATION
DIVISION OF FACILITIES
MANAGEMENT,
DESIGN AND CONSTRUCTION

DEPARTMENT OF
OFFICE OF
ADMINISTRATION

REPAVE PARKING
LOT

PROFESSIONAL
REGISTRATION BLDG.
3605 MISSOURI BLVD.
JEFFERSON CITY, MO 65109

PROJECT # O2364-01
SITE # 1014
ASSET # 3101014001

REVISION: _____
DATE: _____
REVISION: _____
DATE: _____
REVISION: _____
DATE: _____
ISSUE DATE: 6/28/2024

CAD DWG FILE: _____
DRAWN BY: RTG
CHECKED BY: BMS
DESIGNED BY: BMS

SHEET TITLE:
REAR LOT
DEMOLITION PLAN

SHEET NUMBER:

AD-102

4 OF 9 SHEETS
6/28/2024



Brad M. Schaefer - Architect
MO# A-200927294

BID DOCUMENTS

OFFICE OF ADMINISTRATION
DIVISION OF FACILITIES
MANAGEMENT,
DESIGN AND CONSTRUCTION

DEPARTMENT OF
OFFICE OF
ADMINISTRATION

REPAVE PARKING
LOT

PROFESSIONAL
REGISTRATION BLDG.
3605 MISSOURI BLVD.
JEFFERSON CITY, MO 65109

PROJECT # O2364-01
SITE # 1014
ASSET # 3101014001

REVISION: _____
DATE: _____
REVISION: _____
DATE: _____
REVISION: _____
DATE: _____
ISSUE DATE: 6/28/2024

CAD DWG FILE: _____
DRAWN BY: RTG
CHECKED BY: BMS
DESIGNED BY: BMS

SHEET TITLE:
**FRONT LOT
NEW WORK PLAN**

SHEET NUMBER:

A-101

5 OF 9 SHEETS
6/28/2024

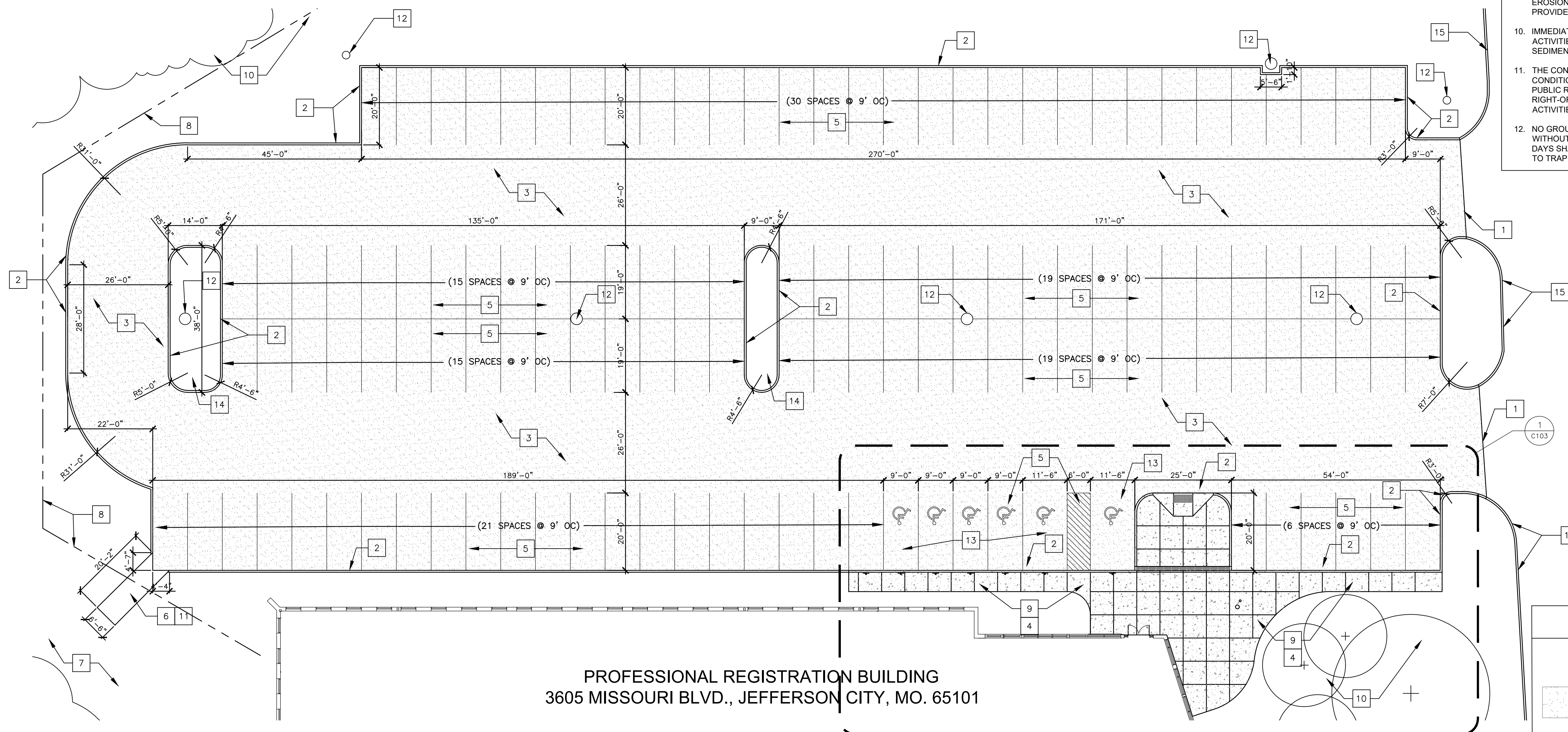
GENERAL NOTES:

- MOST OF THE PROJECT IS A REMOVE AND REPLACE TYPE OF CONSTRUCTION. AS SUCH MOST AREAS DO NOT HAVE DETAILED GRADING DESIGN AS THE REPLACEMENT PAVING WILL MATCH EXISTING PAVING. ALL AREAS WHICH DO NOT SHOW PROPOSED GRADES OR CONTOURS SHALL USE EXISTING GRADES. IT IS RECOMMENDED THE CONTRACTOR SURVEY THE EXISTING CURB HEIGHT AND SET AN OFFSET PRIOR TO REMOVAL AND THEN BUILD THE NEW CURB OFF OF THIS OFFSET.
- PARKING SIGNS AND OTHER STRUCTURES WHICH EXIST THROUGHOUT THE SITE SHALL BE LEFT IN PLACE UNLESS CALLED FOR REMOVAL. IF DISTURBED DURING CONSTRUCTION, THE CONTRACTOR SHALL REINSTALL OR REPLACE.
- ALL WORK ON THE CITY OF JEFFERSON RIGHT OF WAY, PRIMARILY THE STREET CONNECTIONS, REQUIRES THAT THE CITY OF JEFFERSON DEPARTMENT OF PUBLIC WORKS BE NOTIFIED PRIOR TO BEGINNING WORK. IF THE WORK IS SUCH THAT IT REQUIRES A LANE SHUTDOWN, THE CITY MAY REQUIRE A TRAFFIC CONTROL PLAN. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PRODUCING THIS PLAN FOR CITY APPROVAL AND SHALL BE BASED UPON THE CONTRACTOR'S MEANS AND METHODS.
- THE CONTRACTOR SHALL ENGAGE A PRIVATE AND PUBLIC UTILITY LOCATE SERVICE IN AREAS WHERE GRADING WILL TAKE PLACE. MISSOURI ONE CALL DOES NOT LOCATE ON THIS ENTIRE PROPERTY AS IT IS CONSIDERED PRIVATE PROPERTY. THERE COULD BE PRIVATE UTILITIES THAT ARE NOT SHOWN. CONTACT WITH THE OWNER'S ON-SITE REPRESENTATIVE MAY BE HELPFUL ALSO.
- MOST AREAS CONSIST OF REPLACEMENT PAVING AND CURB. AREAS WHICH ARE TO BE DEMOLISHED, BUT NOT RE-PAVED ARE CALLED OUT AS SUCH. REFER TO DEMOLITION PLANS.
- PROJECT PHASING: THIS PROJECT WILL REQUIRE PHASING AND COORDINATION WITH THE OPERATIONS OF THIS FACILITY. THE CONTRACTOR WILL WORK WITH THE STATE OF MISSOURI, AND ARCHITECT TO SUBMIT A PROJECT PHASING PLAN.
- QUANTITY DISCLAIMER: VARIOUS QUANTITIES ARE SHOWN ON THE PLAN SHEETS, SUCH AS AREA OF PAVING IN EACH PROJECT AREA. THE CONTRACTOR IS RESPONSIBLE FOR VERIFYING ALL QUANTITIES AND NO ADDITIONAL PAYMENTS WILL BE MADE IF FINAL QUANTITIES DO NOT MATCH PLANS.
- THE CONTRACTOR IS RESPONSIBLE FOR THE PROVISION OF ALL MATERIALS, TOOLS, EQUIPMENT, AND LABOR NECESSARY TO CONTROL EROSION, SILTATION, AND DISCHARGES OF FILL MATERIAL (SEDIMENT) INTO DOWNSTREAM SYSTEMS. THIS SHALL BE REQUIRED DURING ALL PHASES OF CONSTRUCTION AND UNTIL SUITABLE GROUND COVER IS ESTABLISHED FOR ALL DISTURBED AREAS. IF ANY METHOD OF CONTROL FAILS, THE CONTRACTOR SHALL NOTIFY THE OWNER IMMEDIATELY, SO THAT THE OWNER CAN REVIEW THE CONTRACTOR'S PROPOSED METHOD OF REPAIR.
- CONTRACTOR SHALL PROVIDE TEMPORARY EROSION CONTROL AS SHOWN ON THE DRAWINGS AND AS DIRECTED BY THE DESIGNER. EROSION FENCE AND BEST MANAGEMENT PRACTICES SHALL REMAIN IN PLACE UNTIL THE PROJECT IS COMPLETED AND GRASS IS ESTABLISHED. THE CONTRACTOR SHALL MONITOR EROSION AND SEDIMENT CONTROL MEASURES THROUGHOUT THE PROJECT. PROVIDE SWPPP AND ASSOCIATED INSPECTIONS.
- IMMEDIATELY AFTER MOBILIZATION AND PRIOR TO STARTING ANY SOIL DISTURBING ACTIVITIES, THE CONTRACTOR SHALL INSTALL THE PERIMETER EROSION AND SEDIMENT CONTROL MEASURES. SEE LAND DISTURBANCE IN APPENDIX 1.
- THE CONSTRUCTION ENTRANCE SHALL BE MAINTAINED BY THE CONTRACTOR IN A CONDITION THAT WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC RIGHT-OF-WAYS AND PAVED STREETS. CLEANING ON A DAILY BASIS OF RIGHT-OF-WAYS AND STREETS THAT HAVE BEEN SOILED BY CONSTRUCTION ACTIVITIES SHALL BE THE CONTRACTOR'S RESPONSIBILITY.
- NO GROUND SHALL BE LEFT OPEN FOR MORE THAN 14 DAYS OF NON-ACTIVITY WITHOUT BEING SEEDED AND MULCHED. SOIL STOCKPILED FOR MORE THAN 7 DAYS SHALL HAVE SILT FENCE OR BALES PLACED ON THE DOWNHILL SLOPE TO TRAP SEDIMENT.

RENOVATION KEYNOTES:

- | | |
|--|---|
| 1 SAWCUT LINE. | 10 EXISTING TREES AND LANDSCAPING TO REMAIN |
| 2 CONSTRUCT MONOLITHIC 6" CURB SIMILAR TO EXISTING. REFER TO DETAIL 3 ON SHEET A-500 | 11 SHAPE CURB AND GUTTER TO CREATE FLUME AT EXISTING LOCATION. REFER TO DETAIL 8 ON SHEET A-500. REPAIR/REGRADE WASHOUT AREA AROUND INLET BOX AND FINISH GRADE WITH 4" OF TOPSOIL AND SEED, FERTILIZER, AND COVER WITH EROSION CONTROL MAT. |
| 3 CONCRETE PAVING (6" PCC ON 4" TYPE 5 BASE) | 12 EXISTING UTILITIES TO REMAIN. PROTECT DURING CONSTRUCTION. CONTRACTOR TO FIELD LOCATE ELEC SUPPLY |
| 4 CONCRETE SIDEWALK (4" PCC ON 4" TYPE 5 BASE) (SEE DETAILS 4 & 5 ON SHEET A-500). | 13 STRIPE HANDICAP ACCESSIBLE PARKING SPOTS AS INDICATED. REFER TO SHEET A-103 |
| 5 PAINT PARKING STRIPING LAYOUT ON NEW PAVEMENT. THIS INCLUDES THE PERPENDICULAR SPACES AND THE ACCESSIBLE PARKING SYMBOLS. | 14 NEW CURB ISLAND WITH 6" CURB. FILL WITH NEW TOPSOIL AND SEED. COORDINATE WITH OWNER. |
| 6 REMOVE EXISTING CURB INLET BOX AND REPLACE WITH NEW (SEE DETAIL 8 ON SHEET A-500) | 15 EXISTING CURB TO REMAIN. |
| 7 REPAIR/RE-GRADE EXISTING WASHOUT AREA. FINISH GRADE WITH 4" OF TOPSOIL, SEED, FERTILIZER, AND COVER WITH EROSION CONTROL MAT. | |
| 8 EROSION CONTROL SILT FENCE (TO BE REMOVED FOLLOWING COMPLETION) REFER TO SPECIFICATION SECTION 015713 "EROSION AND SEDIMENT CONTROL" AND SWPPP PLAN | |
| 9 NEW CONCRETE SIDEWALK, AND RAMP. REPLACE WITH NEW (SEE DETAILS ON SHEETS A-103 AND A-500). REPAIR LAWN WASHOUT WITH 4" OF TOPSOIL, SEED, FERTILIZER, AND COVER WITH EROSION CONTROL MAT. | |


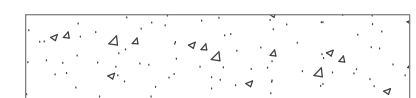
FRONT PARKING LOT
EXISTING PARKING
- 6 ADA PARKING STALLS
- 128 PARKING STALLS
- 134 PARKING STALLS TOTAL
PROPOSED PARKING
- 4 STANDARD ADA PARKING STALLS
- 2 VAN ADA PARKING STALLS
- 125 PARKING STALLS TOTAL



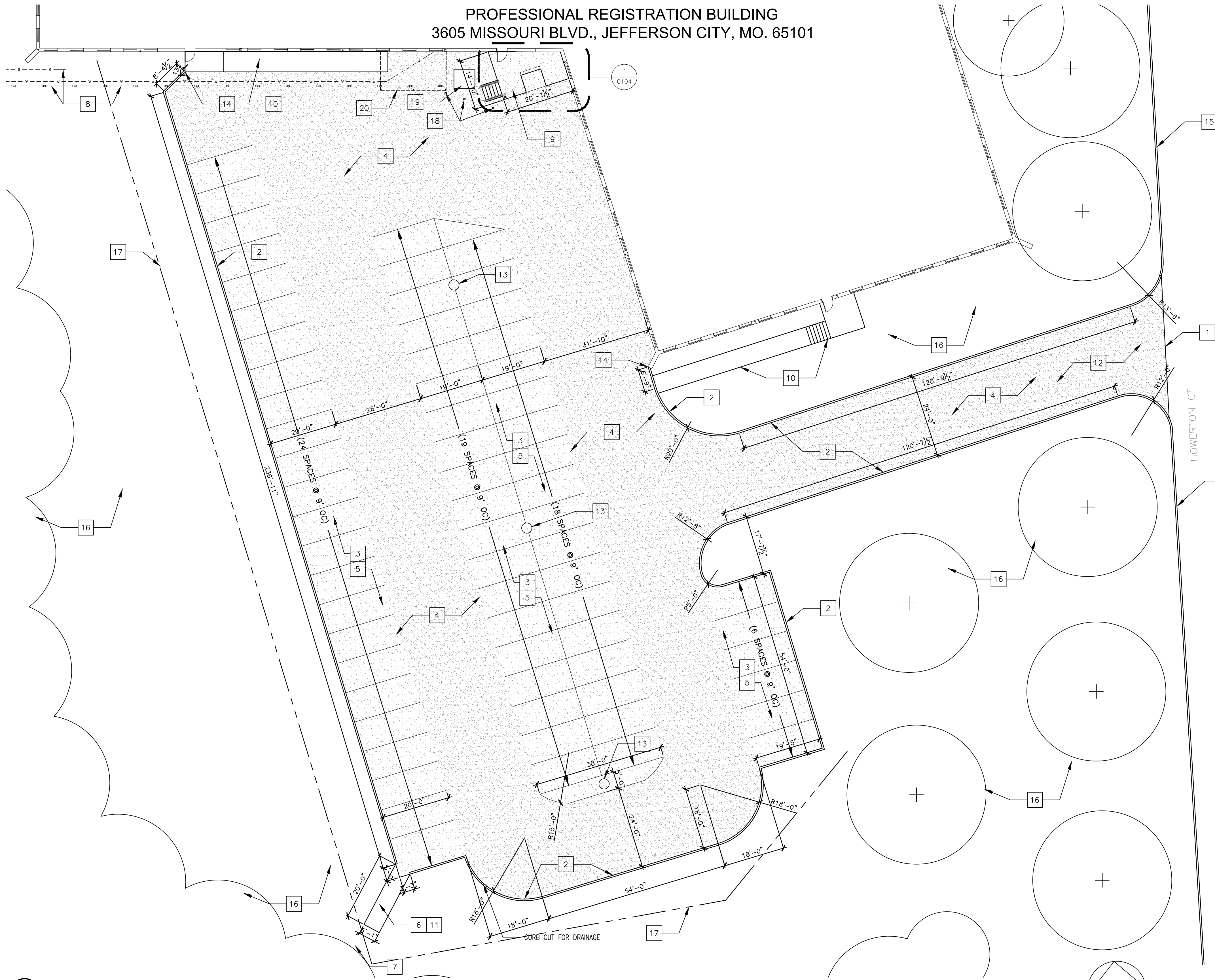
1 FRONT PARKING LOT NEW WORK PLAN (PHASE 1)
SCALE: 1/16"=1'-0"

PLAN NORTH

PAVING LEGEND:

-  LIGHT DUTY CONCRETE PAVING
6" PCC ON 4" TYPE 5 BASE
-  4" PCC CONCRETE SIDEWALK
PAVING

PROFESSIONAL REGISTRATION BUILDING
3605 MISSOURI BLVD., JEFFERSON CITY, MO. 65101



- RENOVATION KEYNOTES:**
- 1 SAWCUT LINE.
 - 2 CONSTRUCT MONOLITHIC 6" CURB SIMILAR TO EXISTING. REFER TO DETAIL 6 ON SHEET A-500
 - 3 CONCRETE PAVING (6" PCC ON 4" TYPE 5 BASE) (SEE DETAIL 2 ON SHEET A-500).
 - 4 HEAVY DUTY CONCRETE PAVING (8" PCC ON 4" TYPE 5 BASE) SEE DETAIL 1 ON SHEET A-500.
 - 5 PAINT PARKING STRIPING LAYOUT ON NEW PAVEMENT. THIS INCLUDES THE PERPENDICULAR SPACES AND THE ACCESSIBLE PARKING SYMBOLS.
 - 6 REMOVE EXISTING CURB INLET FLUME AND REPLACE WITH NEW (SEE DETAIL 8 ON SHEET A-500)
 - 7 REPAIR/RE-GRADE EXISTING WASHOUT AREA. FINISH GRADE WITH 4" OF TOPSOIL, SEED, FERTILIZER, AND COVER WITH EROSION CONTROL MAT.
 - 8 APPROXIMATE LOCATION OF EXISTING UTILITY LINES. CONTRACTOR TO LOCATE ALL PRIVATE AND PUBLIC UTILITIES PRIOR TO EXCAVATION
 - 9 NEW CONCRETE LOADING DOCK, STEPS, HANDRAIL AND GUARDRAIL. REPLACE WITH NEW (SEE DETAILS ON SHEET A-104).
 - 10 EXISTING SIDEWALK/RAMP TO REMAIN
 - 11 SHAPE CURB AND GUTTER TO CREATE FLUME TO EXISTING INLET BOX. REPAIR/REGRADE WASHOUT AREA AROUND INLET BOX AND FINISH GRADE WITH 4" OF TOPSOIL AND SEED, FERTILIZER, AND COVER WITH EROSION CONTROL MAT.
 - 12 CONSTRUCT DRIVEWAY WITH A 2% CROSS SLOPE.
 - 13 EXISTING UTILITIES TO REMAIN. PROTECT DURING CONSTRUCTION. CONTRACTOR TO FIELD LOCATE EXISTING ELECTRICAL SUPPLY.
 - 14 TIE CURB TO EXISTING BUILDING CORNER.
 - 15 EXISTING CURB TO REMAIN.
 - 16 EXISTING TREES AND LANDSCAPING TO REMAIN
 - 17 EROSION CONTROL SILT FENCE (TO BE REMOVED FOLLOWING COMPLETION) REFER TO SPECIFICATION SECTION 01571.3 "EROSION AND SEDIMENT CONTROL" AND SWPPP PLAN
 - 18 REMOVE AND REINSTALL CONCRETE FILLED STEEL BOLLARDS IN ORIGINAL LOCATION
 - 19 ELECTRICAL TRANSFORMER AND PAD TO REMAIN.
 - 20 REMOVE AND REINSTALL LIGHT GAUGE METAL CANOPY AND COLUMNS IN ORIGINAL LOCATION

- GENERAL NOTES:**
1. MOST OF THE PROJECT IS A REMOVE AND REPLACE TYPE OF CONSTRUCTION. AS SUCH MOST AREAS DO NOT HAVE DETAILED GRADING DESIGN AS THE REPLACEMENT PAVING WILL MATCH EXISTING PAVING. ALL AREAS WHICH DO NOT SHOW PROPOSED GRADES OR CONTOURS SHALL USE EXISTING GRADES. IT IS RECOMMENDED THE CONTRACTOR SURVEY THE EXISTING CURB HEIGHT AND SET AN OFFSET PRIOR TO REMOVAL AND THEN BUILD THE NEW CURB OFF OF THIS OFFSET.
 2. PARKING SIGNS AND OTHER STRUCTURES WHICH EXIST THROUGHOUT THE SITE SHALL BE LEFT IN PLACE UNLESS CALLED FOR REMOVAL. IF DISTURBED DURING CONSTRUCTION, THE CONTRACTOR SHALL REINSTALL OR REPLACE.
 3. ALL WORK ON THE CITY OF JEFFERSON RIGHT OF WAY, PRIMARILY THE STREET CONNECTIONS, REQUIRES THAT THE CITY OF JEFFERSON DEPARTMENT OF PUBLIC WORKS BE NOTIFIED PRIOR TO BEGINNING WORK. IF THE WORK IS SUCH THAT IT REQUIRES A LANE SHUTDOWN, THE CITY MAY REQUIRE A TRAFFIC CONTROL PLAN. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PRODUCING THIS PLAN FOR CITY APPROVAL AND SHALL BE BASED UPON THE CONTRACTOR'S MEANS AND METHODS.
 4. THE CONTRACTOR SHALL ENGAGE A PRIVATE AND PUBLIC UTILITY LOCATE SERVICE IN AREAS WHERE GRADING WILL TAKE PLACE. MISSOURI ONE CALL DOES NOT LOCATE ON THIS ENTIRE PROPERTY AS IT IS CONSIDERED PRIVATE PROPERTY. THERE COULD BE PRIVATE UTILITIES THAT ARE NOT SHOWN. CONTACT WITH THE OWNER'S ON-SITE REPRESENTATIVE MAY BE HELPFUL ALSO.
 5. MOST AREAS CONSIST OF REPLACEMENT PAVING AND CURB. AREAS WHICH ARE TO BE DEMOLISHED, BUT NOT RE-PAVED ARE CALLED OUT AS SUCH. REFER TO DEMOLITION PLANS
 6. PROJECT PHASING: THIS PROJECT WILL REQUIRE PHASING AND COORDINATION WITH THE OPERATIONS OF THIS FACILITY. THE CONTRACTOR WILL WORK WITH THE STATE OF MISSOURI, AND ARCHITECT TO SUBMIT A PROJECT PHASING PLAN.
 7. QUANTITY DISCLAIMER: VARIOUS QUANTITIES ARE SHOWN ON THE PLAN SHEETS, SUCH AS AREA OF PAVING IN EACH PROJECT AREA. THE CONTRACTOR IS RESPONSIBLE FOR VERIFYING ALL QUANTITIES AND NO ADDITIONAL PAYMENTS WILL BE MADE IF FINAL QUANTITIES DO NOT MATCH PLANS.
 8. THE CONTRACTOR IS RESPONSIBLE FOR THE PROVISION OF ALL MATERIALS, TOOLS, EQUIPMENT, AND LABOR NECESSARY TO CONTROL EROSION, SILTATION, AND DISCHARGES OF FILL MATERIAL (SEDIMENT) INTO DOWNSTREAM SYSTEMS. THIS SHALL BE REQUIRED DURING ALL PHASES OF CONSTRUCTION AND UNTIL SUITABLE GROUND COVER IS ESTABLISHED FOR ALL DISTURBED AREAS. IF ANY METHOD OF CONTROL FAILS, THE CONTRACTOR SHALL NOTIFY THE OWNER IMMEDIATELY, SO THAT THE OWNER CAN REVIEW THE CONTRACTOR'S PROPOSED METHOD OF REPAIR.
 9. CONTRACTOR SHALL PROVIDE TEMPORARY EROSION CONTROL AS SHOWN ON THE DRAWINGS AND AS DIRECTED BY THE DESIGNER. EROSION FENCE AND BEST MANAGEMENT PRACTICES SHALL REMAIN IN PLACE UNTIL THE PROJECT IS COMPLETED AND GRASS IS ESTABLISHED. THE CONTRACTOR SHALL MONITOR EROSION AND SEDIMENT CONTROL MEASURES THROUGHOUT THE PROJECT. PROVIDE SWPPP AND ASSOCIATED INSPECTIONS.
 10. IMMEDIATELY AFTER MOBILIZATION AND PRIOR TO STARTING ANY SOIL DISTURBING ACTIVITIES, THE CONTRACTOR SHALL INSTALL THE PERIMETER EROSION AND SEDIMENT CONTROL MEASURES. SEE LAND DISTURBANCE IN APPENDIX 1.
 11. THE CONSTRUCTION ENTRANCE SHALL BE MAINTAINED BY THE CONTRACTOR IN A CONDITION THAT WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC RIGHT-OF-WAYS AND PAVED STREETS. CLEANING ON A DAILY BASIS OF RIGHT-OF-WAYS AND STREETS THAT HAVE BEEN SOILED BY CONSTRUCTION ACTIVITIES SHALL BE THE CONTRACTOR'S RESPONSIBILITY.
 12. NO GROUND SHALL BE LEFT OPEN FOR MORE THAN 14 DAYS OF NON-ACTIVITY WITHOUT BEING SEEDED AND MULCHED. SOIL STOCKPILED FOR MORE THAN 7 DAYS SHALL HAVE SILT FENCE OR BALES PLACED ON THE DOWNHILL SLOPE TO TRAP SEDIMENT.

1 REAR PARKING LOT NEW WORK PLAN (PHASE 2)
SCALE: 1/16"=1'-0"

PAVING LEGEND:

	LIGHT DUTY CONCRETE PAVING 6" PCC ON 4" TYPE 5 BASE
	HEAVY DUTY CONCRETE PAVING 8" PCC ON 4" TYPE 5 BASE

REAR PARKING LOT	
EXISTING PARKING	- 66 PARKING STALLS TOTAL
PROPOSED PARKING	- 67 PARKING STALLS TOTAL



Brad M. Schaefer - Architect
MO# A-2009027294

**BID
DOCUMENTS**

OFFICE OF ADMINISTRATION
DIVISION OF FACILITIES
MANAGEMENT,
DESIGN AND CONSTRUCTION

DEPARTMENT OF
OFFICE OF
ADMINISTRATION

REPAVE PARKING
LOT

PROFESSIONAL
REGISTRATION BLDG.
3605 MISSOURI BLVD.
JEFFERSON CITY, MO 65109

PROJECT # O2364-01
SITE # 1014
ASSET # 3101014001

REVISION: _____
DATE: _____
REVISION: _____
DATE: _____
REVISION: _____
DATE: _____
ISSUE DATE: 6/28/2024

CAD DWG FILE: _____
DRAWN BY: RTG
CHECKED BY: BMS
DESIGNED BY: BMS

SHEET TITLE:
**REAR LOT
NEW WORK PLAN**

SHEET NUMBER:

A-102



Brad M. Schaefer - Architect
MO# A-2009027294

**BID
DOCUMENTS**

OFFICE OF ADMINISTRATION
DIVISION OF FACILITIES
MANAGEMENT,
DESIGN AND CONSTRUCTION

DEPARTMENT OF
OFFICE OF
ADMINISTRATION

REPAVE PARKING
LOT

PROFESSIONAL
REGISTRATION BLDG.
3605 MISSOURI BLVD.
JEFFERSON CITY, MO 65109

PROJECT # O2364-01
SITE # 1014
ASSET # 3101014001

REVISION: _____
DATE: _____
REVISION: _____
DATE: _____
REVISION: _____
DATE: _____
ISSUE DATE: 6/28/2024

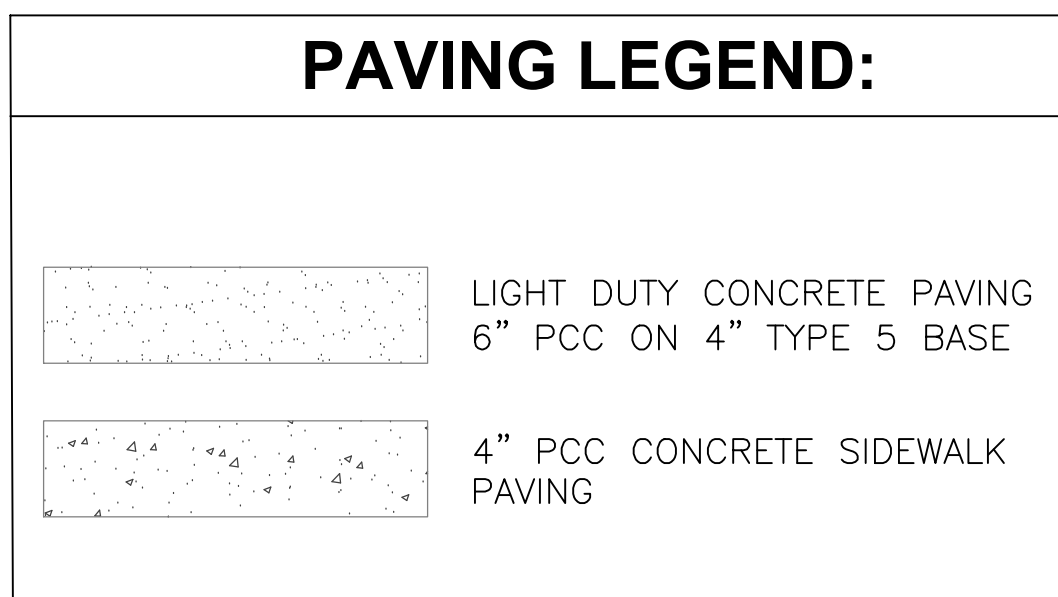
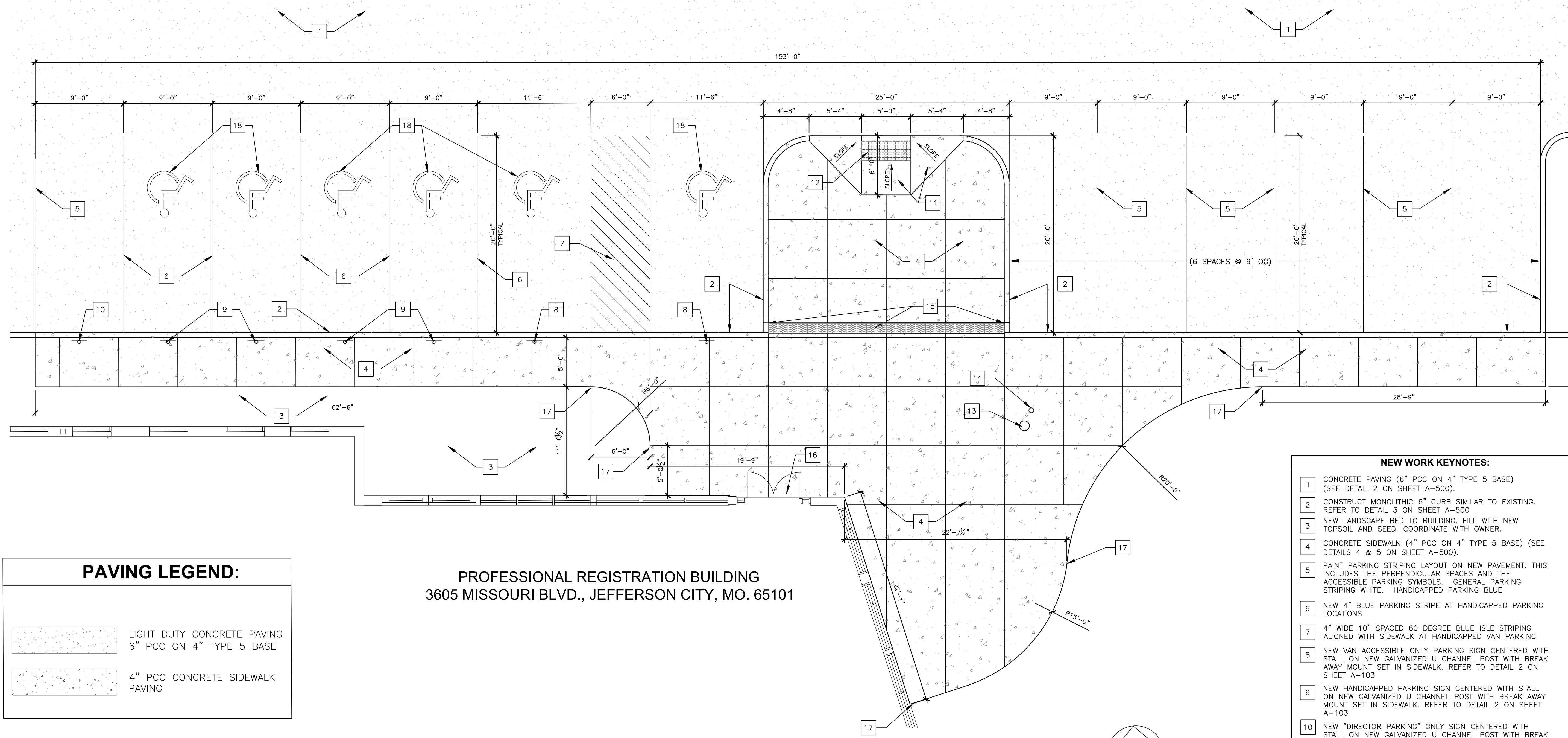
CAD DWG FILE: _____
DRAWN BY: RTG
CHECKED BY: BMS
DESIGNED BY: BMS

SHEET TITLE:
**FRONT ENTRY
SIDEWALK NEW
WORK PLAN**

SHEET NUMBER:

A-103

7 OF 9 SHEETS
6/28/2024

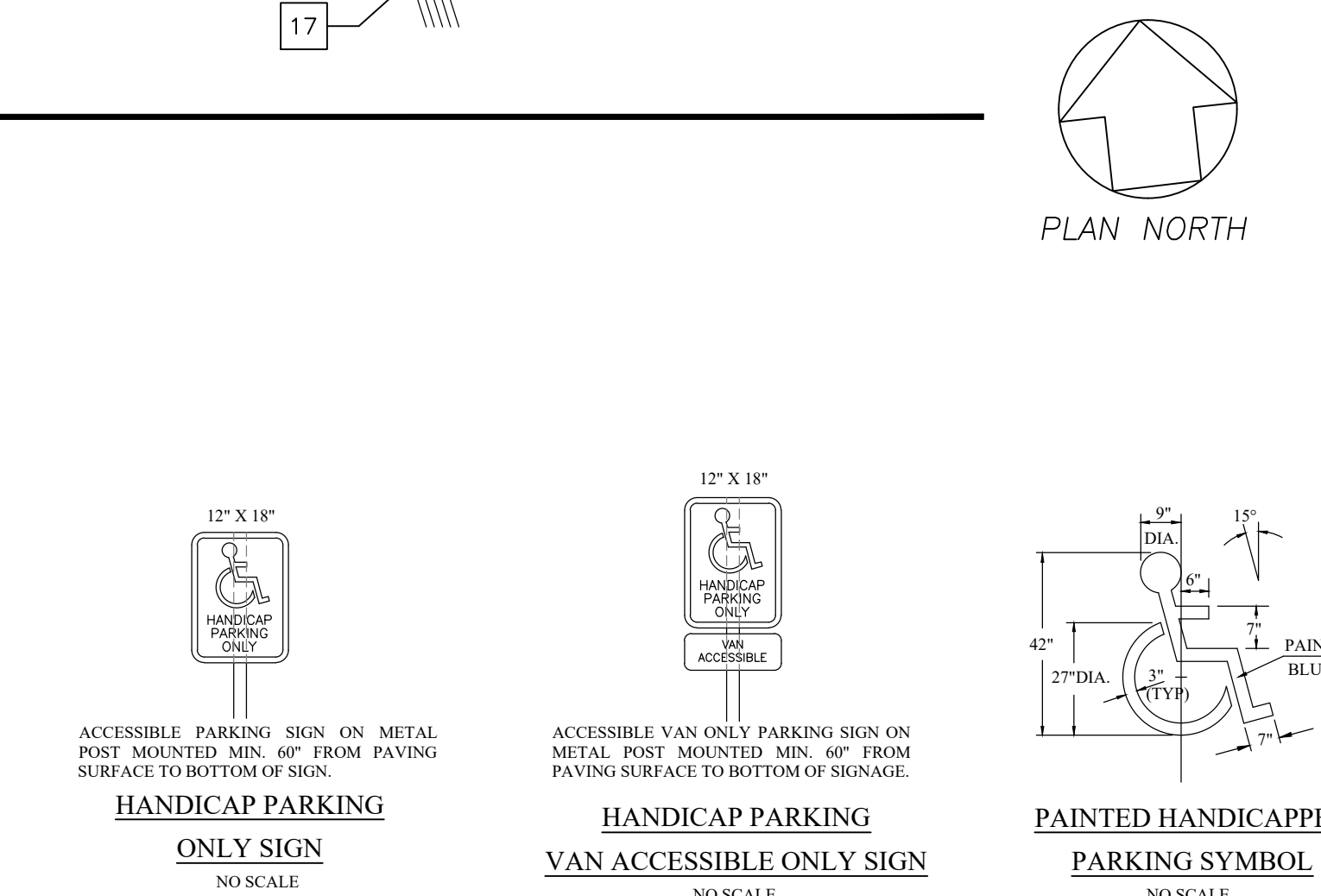


1 FRONT ENTRY SIDEWALK NEW WORK PLAN
SCALE: 3/16"=1'-0"

PROFESSIONAL REGISTRATION BUILDING
3605 MISSOURI BLVD., JEFFERSON CITY, MO. 65101

GENERAL NOTES:

- MOST OF THE PROJECT IS A REMOVE AND REPLACE TYPE OF CONSTRUCTION. AS SUCH MOST AREAS DO NOT HAVE DETAILED GRADING DESIGN AS THE REPLACEMENT PAVING WILL MATCH EXISTING PAVING. ALL AREAS WHICH DO NOT SHOW PROPOSED GRADES OR CONTOURS SHALL USE EXISTING GRADES. IT IS RECOMMENDED THE CONTRACTOR SURVEY THE EXISTING CURB HEIGHT AND SET AN OFFSET PRIOR TO REMOVAL AND THEN BUILD THE NEW CURB OFF OF THIS OFFSET.
- PARKING SIGNS AND OTHER STRUCTURES WHICH EXIST THROUGHOUT THE SITE SHALL BE LEFT IN PLACE UNLESS CALLED FOR REMOVAL. IF DISTURBED DURING CONSTRUCTION, THE CONTRACTOR SHALL REINSTALL OR REPLACE.
- ALL WORK ON THE CITY OF JEFFERSON RIGHT OF WAY, PRIMARILY THE STREET CONNECTIONS, REQUIRES THAT THE CITY OF JEFFERSON DEPARTMENT OF PUBLIC WORKS BE NOTIFIED PRIOR TO BEGINNING WORK. IF THE WORK IS SUCH THAT IT REQUIRES A LANE SHUTDOWN, THE CITY MAY REQUIRE A TRAFFIC CONTROL PLAN. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PRODUCING THIS PLAN FOR CITY APPROVAL AND SHALL BE BASED UPON THE CONTRACTOR'S MEANS AND METHODS.
- THE CONTRACTOR SHALL ENGAGE A PRIVATE AND PUBLIC UTILITY LOCATE SERVICE IN AREAS WHERE GRADING WILL TAKE PLACE. MISSOURI ONE CALL DOES NOT LOCATE ON THIS ENTIRE PROPERTY AS IT IS CONSIDERED PRIVATE PROPERTY. THERE COULD BE PRIVATE UTILITIES THAT ARE NOT SHOWN. CONTACT WITH THE OWNER'S ON-SITE REPRESENTATIVE MAY BE HELPFUL ALSO.
- MOST AREAS CONSIST OF REPLACEMENT PAVING AND CURB. AREAS WHICH ARE TO BE DEMOLISHED, BUT NOT RE-PAVED ARE CALLED OUT AS SUCH. REFER TO DEMOLITION PLANS.
- PROJECT PHASING: THIS PROJECT WILL REQUIRE PHASING AND COORDINATION WITH THE OPERATIONS OF THIS FACILITY. THE CONTRACTOR WILL WORK WITH THE STATE OF MISSOURI, AND ARCHITECT TO SUBMIT A PROJECT PHASING PLAN.
- QUANTITY DISCLAIMER: VARIOUS QUANTITIES ARE SHOWN ON THE PLAN SHEETS, SUCH AS AREA OF PAVING IN EACH PROJECT AREA. THE CONTRACTOR IS RESPONSIBLE FOR VERIFYING ALL QUANTITIES AND NO ADDITIONAL PAYMENTS WILL BE MADE IF FINAL QUANTITIES DO NOT MATCH PLANS.
- THE CONTRACTOR IS RESPONSIBLE FOR THE PROVISION OF ALL MATERIALS, TOOLS, EQUIPMENT, AND LABOR NECESSARY TO CONTROL EROSION, SILTATION, AND DISCHARGES OF FILL MATERIAL (SEDIMENT) INTO DOWNSTREAM SYSTEMS. THIS SHALL BE REQUIRED DURING ALL PHASES OF CONSTRUCTION AND UNTIL SUITABLE GROUND COVER IS ESTABLISHED FOR ALL DISTURBED AREAS. IF ANY METHOD OF CONTROL FAILS, THE CONTRACTOR SHALL NOTIFY THE OWNER IMMEDIATELY, SO THAT THE OWNER CAN REVIEW THE CONTRACTOR'S PROPOSED METHOD OF REPAIR.
- CONTRACTOR SHALL PROVIDE TEMPORARY EROSION CONTROL AS SHOWN ON THE DRAWINGS AND AS DIRECTED BY THE DESIGNER. EROSION FENCE AND BEST MANAGEMENT PRACTICES SHALL REMAIN IN PLACE UNTIL THE PROJECT IS COMPLETED AND GRASS IS ESTABLISHED. THE CONTRACTOR SHALL MONITOR EROSION AND SEDIMENT CONTROL MEASURES THROUGHOUT THE PROJECT. PROVIDE SWPPP AND ASSOCIATED INSPECTIONS.
- IMMEDIATELY AFTER MOBILIZATION AND PRIOR TO STARTING ANY SOIL DISTURBING ACTIVITIES, THE CONTRACTOR SHALL INSTALL THE PERIMETER EROSION AND SEDIMENT CONTROL MEASURES. SEE LAND DISTURBANCE IN APPENDIX 1.
- THE CONSTRUCTION ENTRANCE SHALL BE MAINTAINED BY THE CONTRACTOR IN A CONDITION THAT WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC RIGHT-OF-WAYS AND PAVED STREETS. CLEANING ON A DAILY BASIS OF RIGHT-OF-WAYS AND STREETS THAT HAVE BEEN SOILED BY CONSTRUCTION ACTIVITIES SHALL BE THE CONTRACTOR'S RESPONSIBILITY.
- NO GROUND SHALL BE LEFT OPEN FOR MORE THAN 14 DAYS OF NON-ACTIVITY WITHOUT BEING SEEDED AND MULCHED. SOIL STOCKPILED FOR MORE THAN 7 DAYS SHALL HAVE SILT FENCE OR BALES PLACED ON THE DOWNHILL SLOPE TO TRAP SEDIMENT.



2 ADA PARKING DETAILS
SCALE: N.T.S.

NEW WORK KEYNOTES:

- CONCRETE PAVING (6" PCC ON 4" TYPE 5 BASE) (SEE DETAIL 2 ON SHEET A-500).
- CONSTRUCT MONOLITHIC 6" CURB SIMILAR TO EXISTING. REFER TO DETAIL 3 ON SHEET A-500
- NEW LANDSCAPE BED TO BUILDING, FILL WITH NEW TOPSOIL AND SEED. COORDINATE WITH OWNER.
- CONCRETE SIDEWALK (4" PCC ON 4" TYPE 5 BASE) (SEE DETAILS 4 & 5 ON SHEET A-500).
- PAINT PARKING STRIPING LAYOUT ON NEW PAVEMENT. THIS INCLUDES THE PERPENDICULAR SPACES AND THE ACCESSIBLE PARKING SYMBOLS. GENERAL PARKING STRIPING WHITE. HANDICAPPED PARKING BLUE
- NEW 4" BLUE PARKING STRIPE AT HANDICAPPED PARKING LOCATIONS
- 4" WIDE 10" SPACED 60 DEGREE BLUE ISLE STRIPING ALIGNED WITH SIDEWALK AT HANDICAPPED VAN PARKING
- NEW VAN ACCESSIBLE ONLY PARKING SIGN CENTERED WITH STALL ON NEW GALVANIZED U CHANNEL POST WITH BREAK AWAY MOUNT SET IN SIDEWALK. REFER TO DETAIL 2 ON SHEET A-103
- NEW HANDICAPPED PARKING SIGN CENTERED WITH STALL ON NEW GALVANIZED U CHANNEL POST WITH BREAK AWAY MOUNT SET IN SIDEWALK. REFER TO DETAIL 2 ON SHEET A-103
- NEW "DIRECTOR PARKING" ONLY SIGN CENTERED WITH STALL ON NEW GALVANIZED U CHANNEL POST WITH BREAK AWAY MOUNT SET IN SIDEWALK. COORDINATE WITH OWNER FOR SIGN DESIGNATION PRIOR TO INSTALL.
- NEW CONCRETE RAMP AND SIDE APRONS. SLOPE TO BE 8.33% MAXIMUM. ZERO CLEARANCE TRANSITION TO PAVING
- NEW 5'-0"x2'-0" DETECTIBLE WARNING STRIP SET INTO BASE OF NEW RAMP. (COLOR GREY)
- NEW GROUND MOUNTED FLAGPOLE. COORDINATE EXACT LOCATION WITH OWNER PRIOR TO INSTALL.
- NEW GROUND MOUNTED FLAG POLE LIGHTING CONNECTED TO EXISTING WIRING. RE: SPECIFICATIONS.
- 12" WIDE MONOLITHIC TRENCH DRAIN TAPERED TO SLOPE WITH TRENCH GRATE FRAME AND SLOTTED COVER PLATE. PREFABRICATED CURB OPENINGS ON EACH SIDE. RE: DETAIL 7/A-500 AND SPECIFICATION SECTION 334000
- MATCH EXISTING BUILDING FLOOR FINISH ELEVATION AT ENTRY.
- SPRINGPOINT OF SIDEWALK RADIUS CURVE START/END
- NEW HANDICAP PARKING SYMBOL (BLUE) REFER TO DETAIL 2 ON SHEET A-103



Brad M. Schaefer - Architect
MO# A-200927294

BID DOCUMENTS

OFFICE OF ADMINISTRATION
DIVISION OF FACILITIES
MANAGEMENT,
DESIGN AND CONSTRUCTION

DEPARTMENT OF
OFFICE OF
ADMINISTRATION

REPAVE PARKING
LOT

PROFESSIONAL
REGISTRATION BLDG.
3605 MISSOURI BLVD.
JEFFERSON CITY, MO 65109

PROJECT # O2364-01
SITE # 1014
ASSET # 3101014001

REVISION: _____
DATE: _____
REVISION: _____
DATE: _____
REVISION: _____
DATE: _____
ISSUE DATE: 6/28/2024

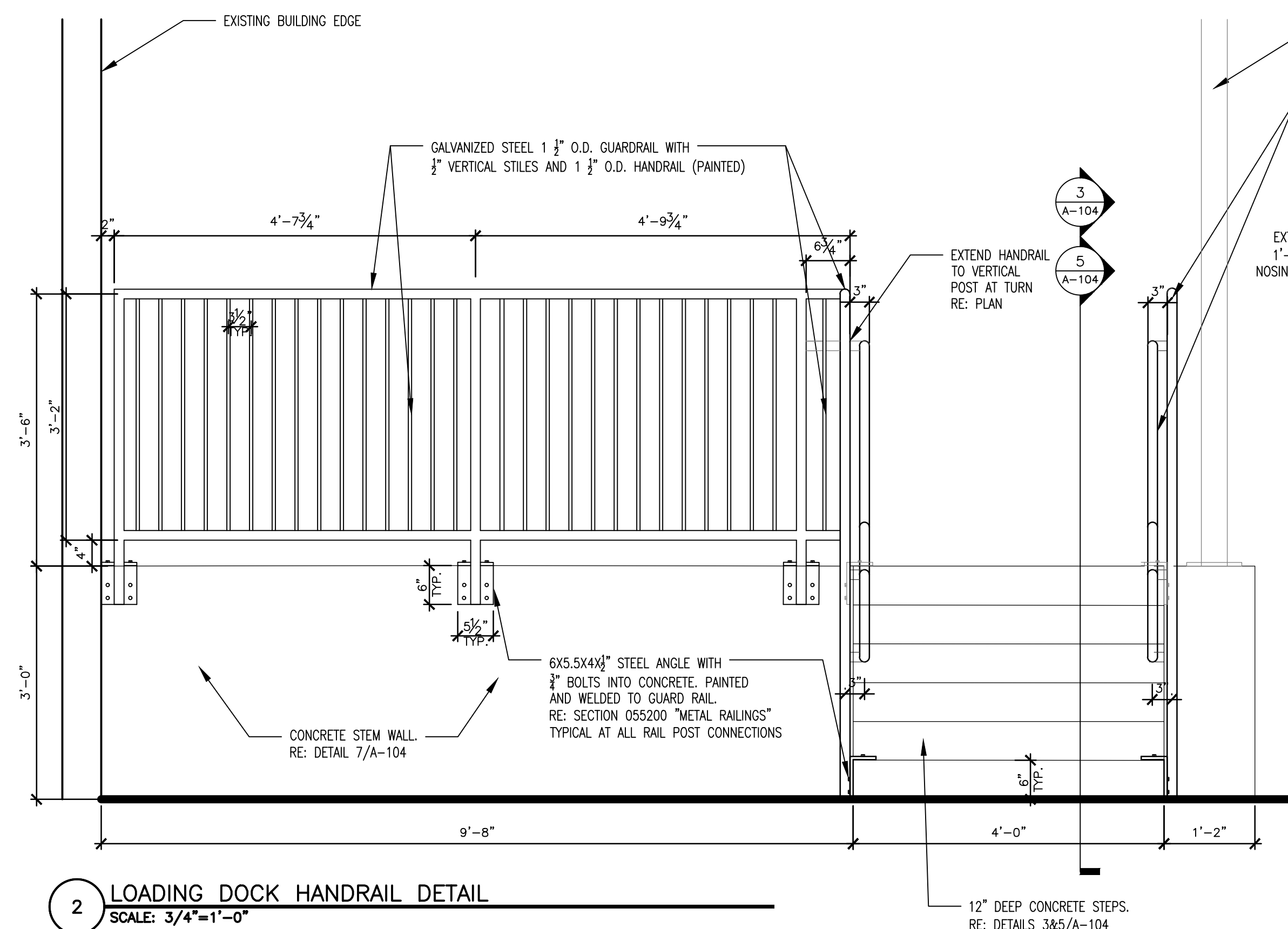
CAD DWG FILE: _____
DRAWN BY: RTG
CHECKED BY: BMS
DESIGNED BY: BMS

SHEET TITLE:
**LOADING DOCK
NEW WORK PLAN**

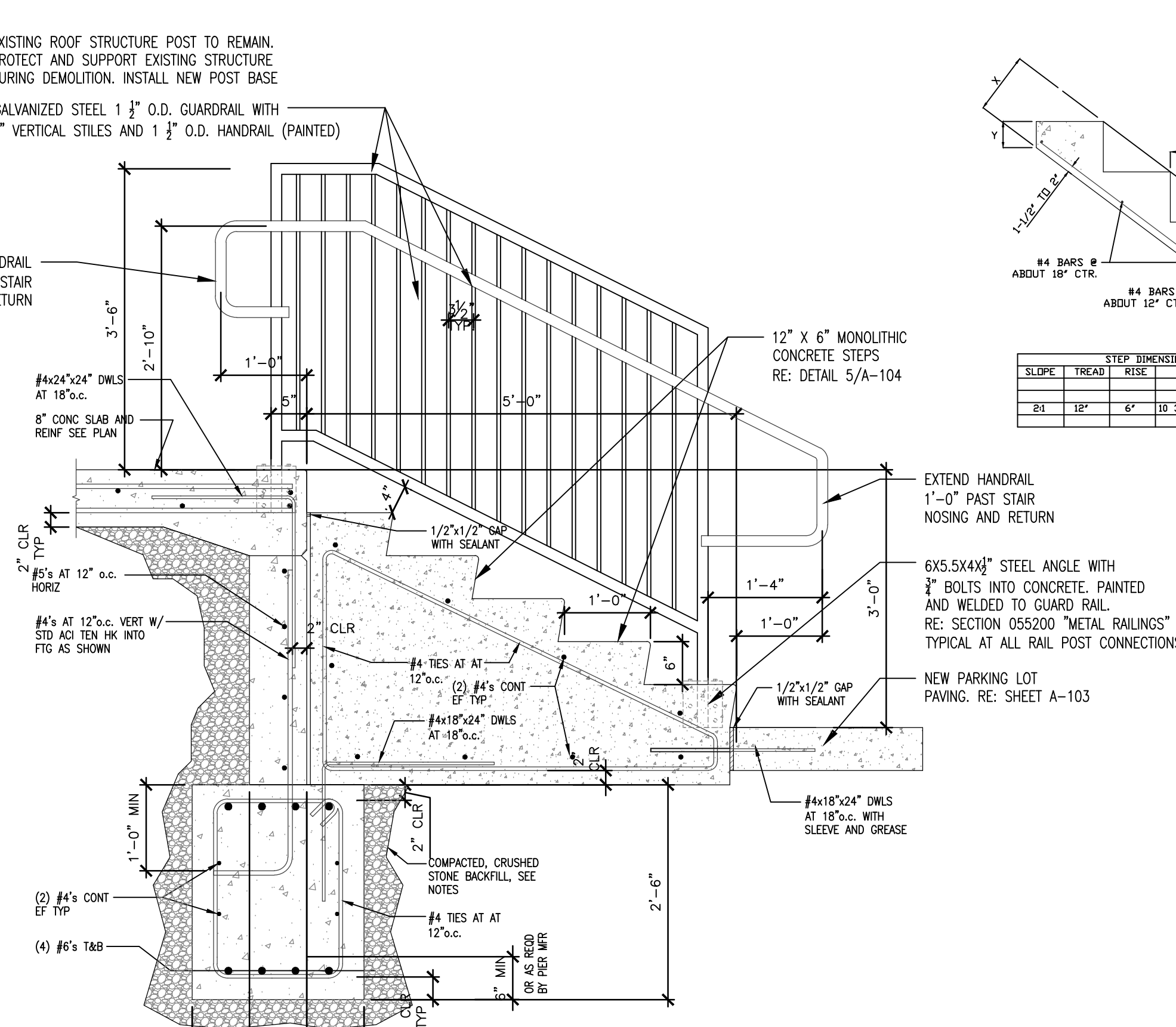
SHEET NUMBER:

A-104

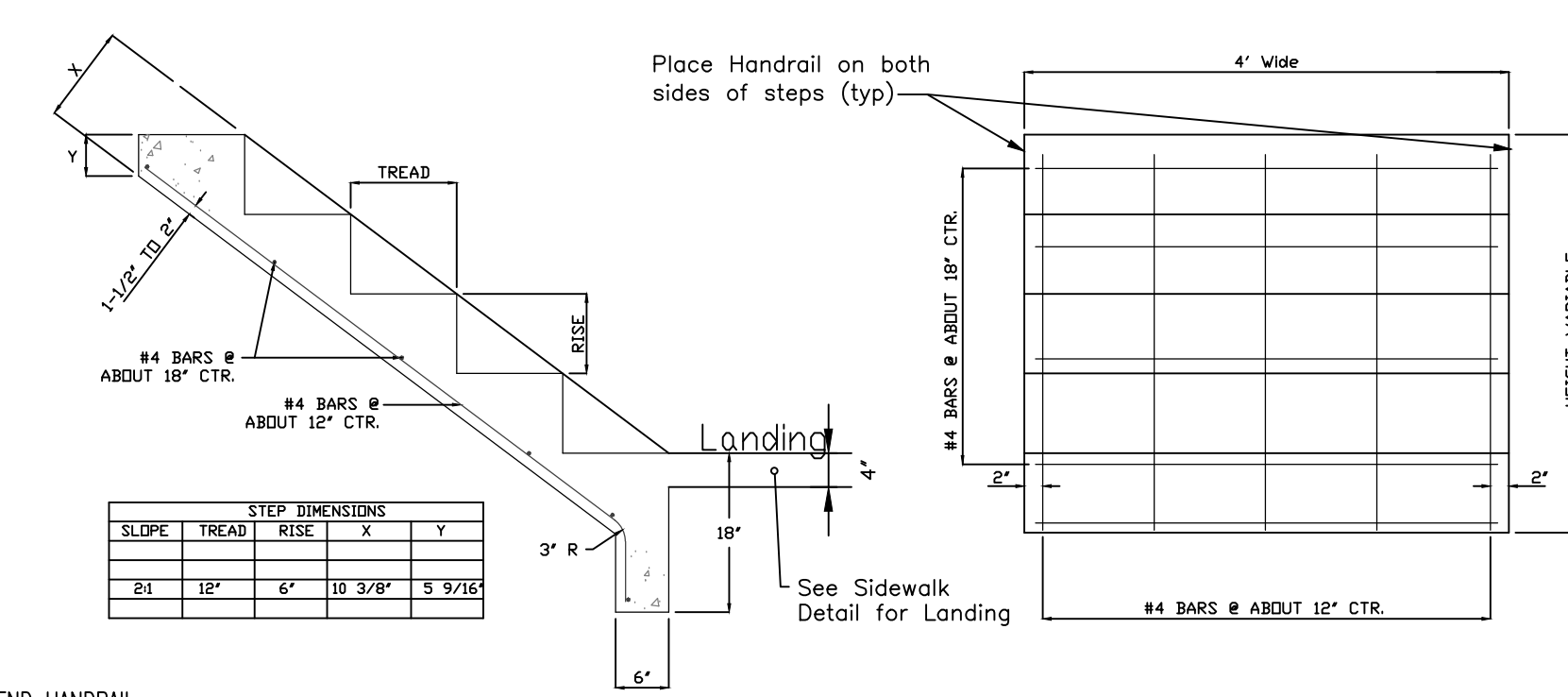
8 OF 9 SHEETS
6/28/2024



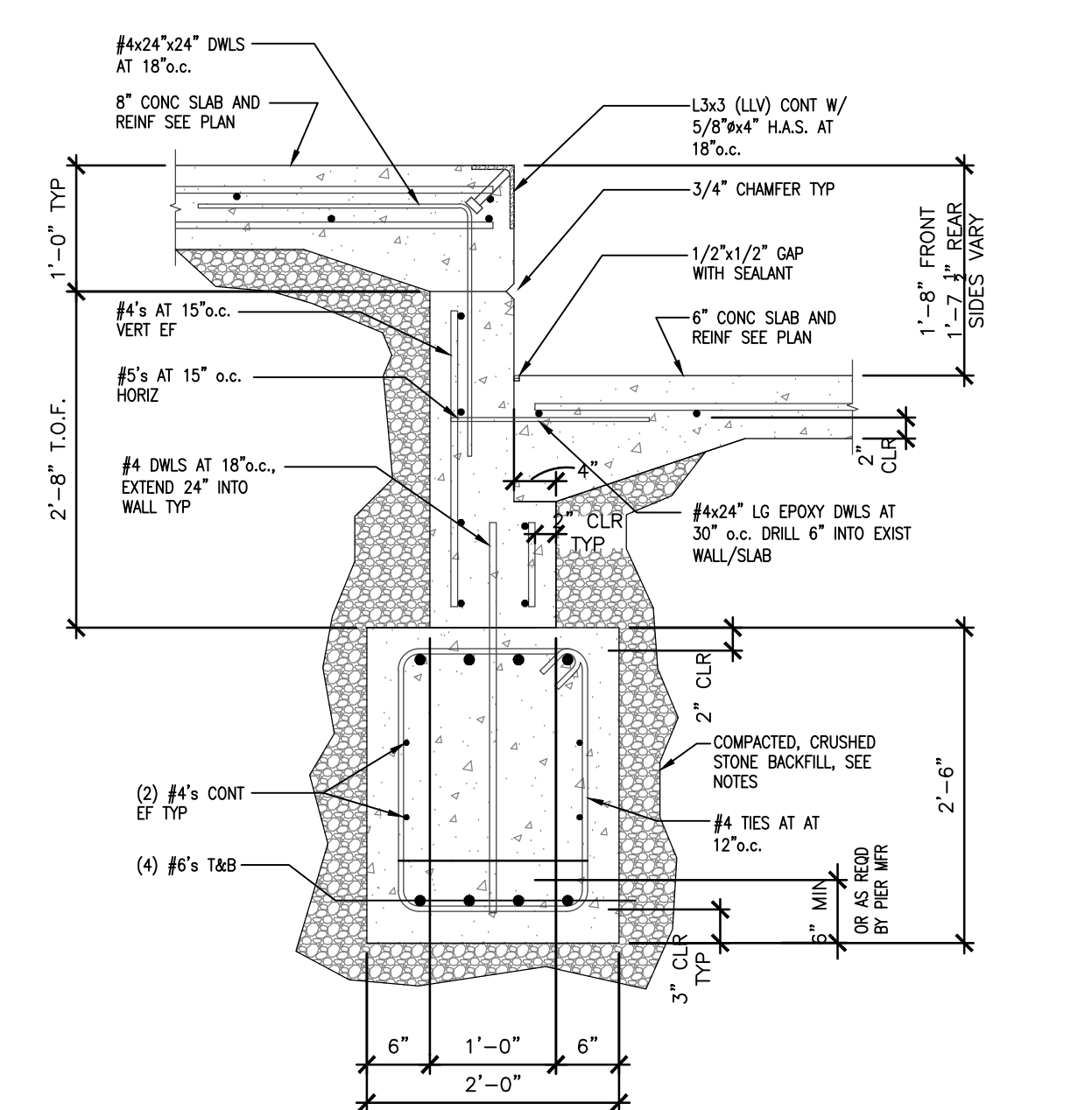
2 LOADING DOCK HANDRAIL DETAIL
SCALE: 3/4"=1'-0"



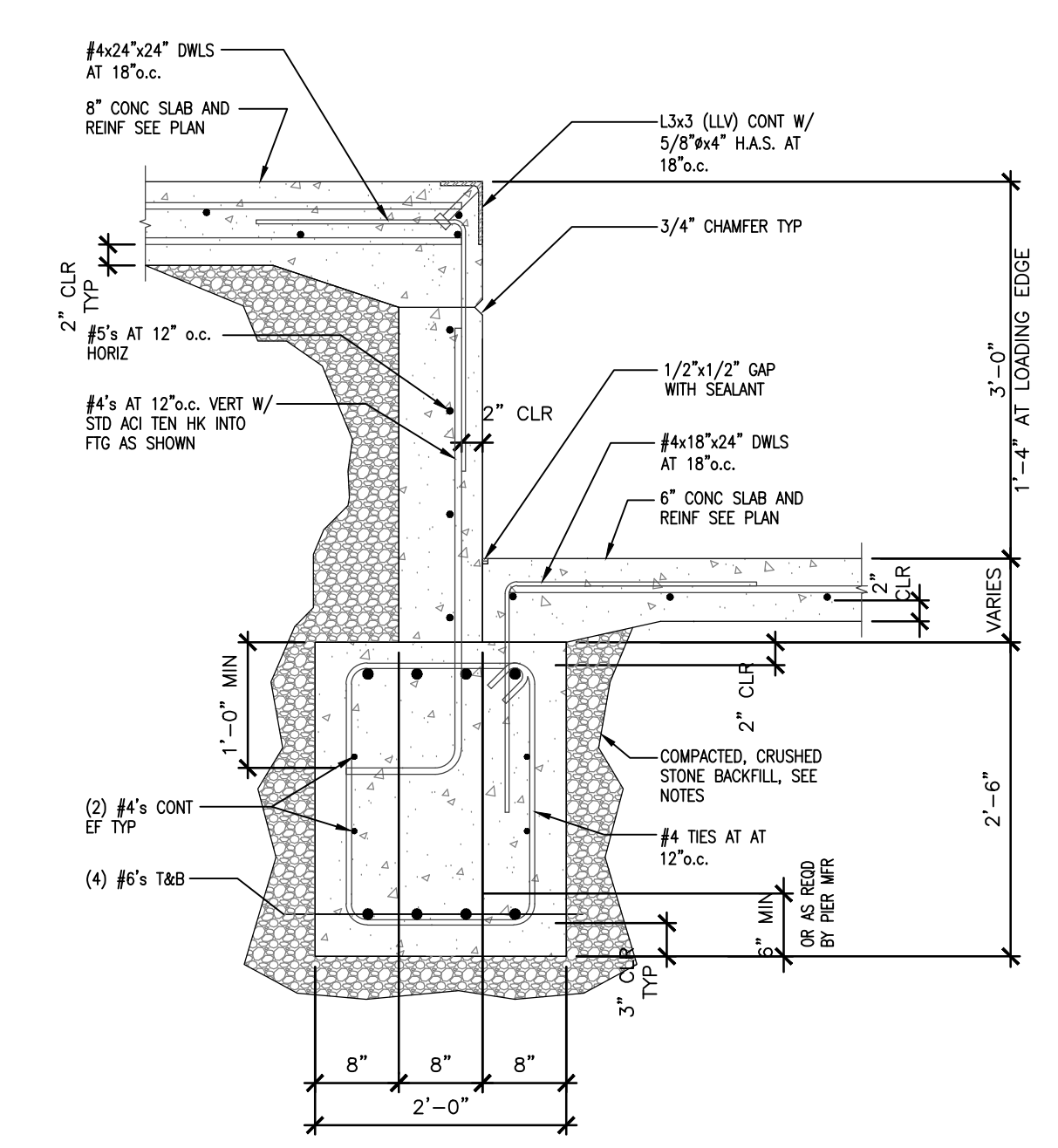
3 HANDRAIL DETAIL AT STEPS
SCALE: 3/4"=1'-0"



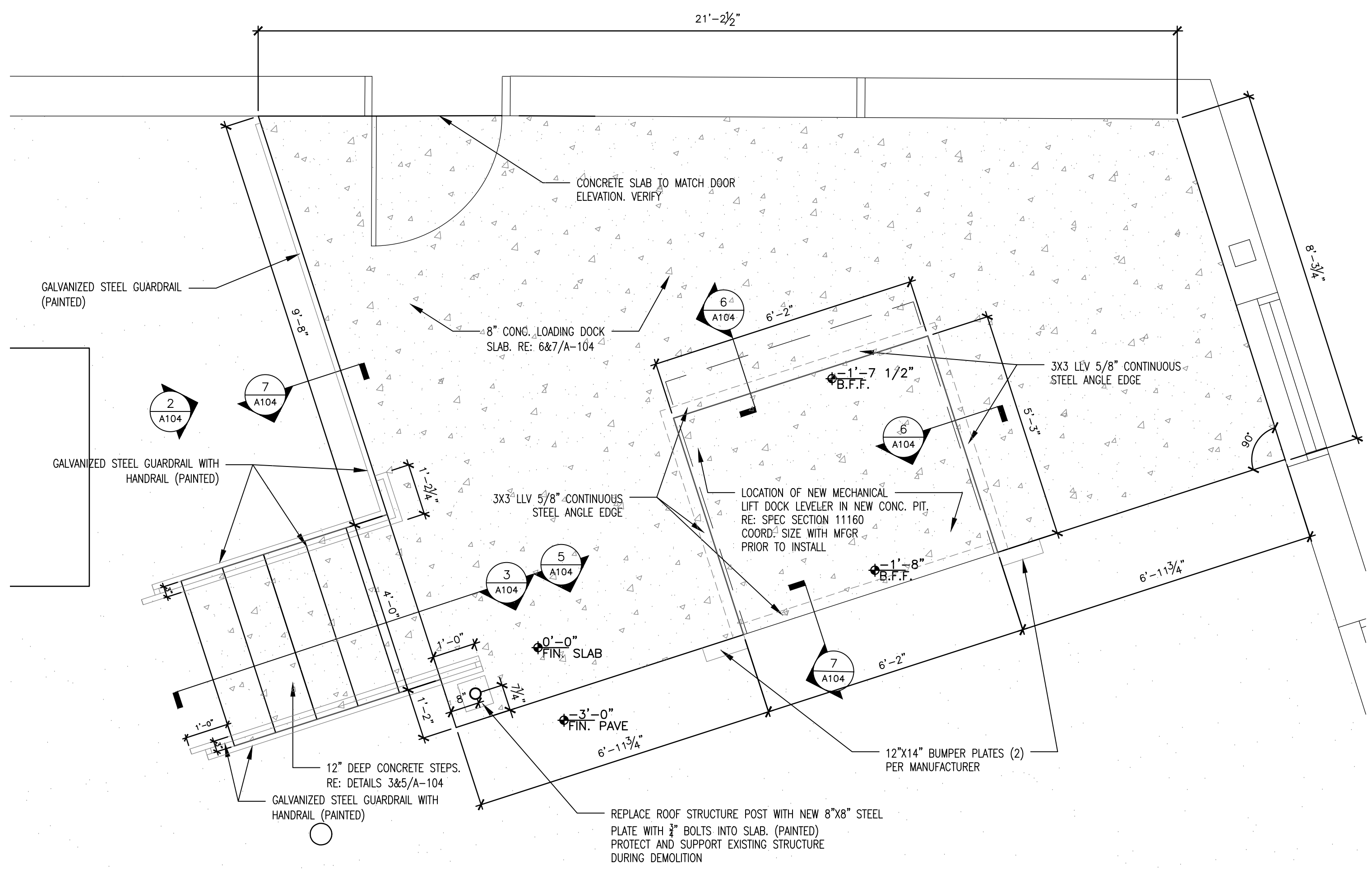
5 CONCRETE STEP DETAIL
SCALE: N.T.S.



6 HI/LOW SLAB AT DOCK LEVELER
SCALE: 3/4"=1'-0"



7 DOCK SLAB EDGE DETAIL
SCALE: 3/4"=1'-0"



1 LOADING DOCK NEW WORK PLAN
SCALE: 1/2"=1'-0"



HANDRAIL NOTES:

- HANDRAILS ARE REQUIRED ON BOTH SIDES OF STAIRS AND OR RAMPS. GUARDRAILS ARE REQUIRED FOR RAILS WHERE THE SURFACE IS 30" OR OVER FROM BASE SURFACE.
- THE TOP OF THE GRIPPING SURFACES OF HANDRAILS SHALL BE NO LESS THAN 34" AND NOT MORE THAN 38" VERTICALLY ABOVE THE WALKING SURFACE, STAIR NOSINGS, AND RAMP SURFACES. HANDRAILS SHALL BE AT A CONSISTENT HEIGHT ABOVE WALKING SURFACE OR STAIR NOSINGS. AT THE TOP OF A STAIR FLIGHT, HANDRAIL SHALL EXTEND HORIZONTALLY ABOVE THE LANDING FOR A MINIMUM OF 12" BEGINNING, DIRECTLY ABOVE THE FIRST RISER NOSING. EXTENSIONS SHALL RETURN TO A WALL, GUARD, OR THE LANDING SURFACE, OR SHALL BE CONTINUOUS TO THE HANDRAIL OF AN ADJACENT STAIR FLIGHT.
- AT THE BOTTOM OF A STAIR FLIGHT, HANDRAIL SHALL EXTEND AT THE SLOPE OF THE STAIR FLIGHT FOR A HORIZONTAL DISTANCE AT LEAST EQUAL TO ONE TREAD DEPTH BEYOND THE LAST RISER NOSING. EXTENSIONS SHALL RETURN TO A WALL, GUARD, OR THE LANDING SURFACE, OR SHALL BE CONTINUOUS TO THE HAND RAIL OF AN ADJACENT FLIGHT.
- HANDRAIL GRIPPING SURFACES SHALL BE CONTINUOUS ALONG THEIR LENGTH AND SHALL NOT BE OBSTRUCTED ALONG THEIR TOPS OR SIDES. THE BOTTOMS OF THE HANDRAIL GRIPPING SURFACES SHALL NOT BE OBSTRUCTED FOR MORE THAN 20% OF THEIR LENGTH.
- HANDRAIL GRIPPING SURFACES WITH A CIRCULAR CROSS SECTION SHALL HAVE AN OUTSIDE DIAMETER OF NOT LESS THAN 1 1/2" AND NOT MORE THAN 2". HANDRAIL GRIPPING SURFACES WITH AN NON-CIRCULAR CROSS SECTION SHALL HAVE A PERIMETER OF NOT THAN 4" OR MORE THAN 6 1/2". THE LONGEST CROSS SECTIONAL DIMENSIONS SHALL EXCEED 2 1/2".
- REFER TO THE U.S. DEPARTMENT OF JUSTICE "2010 ADA STANDARDS FOR ACCESSIBLE DESIGN" FOR ADDITIONAL INFORMATION AND OR REQUIREMENTS.

MATERIALS / FINISHES/ INSTALLATION:

- THE MATERIAL AND FINISH REQUIREMENTS CONTAINED IN THIS SECTION ARE NOT MEANT TO PROHIBIT THE USE OF MANUFACTURED RAILINGS WHICH MEET THE REQUIREMENTS OF ADA.
- ALL FABRICATED RAILINGS SHALL BE EITHER 1 1/2" DIAMETER SCHEDULE 40 STEEL TUBING (1.90 OD X .145 WALL) OR 1 1/2" X 1 1/2" X 11 GA. (120 WALL) STEEL TUBING. PEDESTRIAN/BICYCLE GUARD RAILING MAY EXCEED THESE DIMENSIONS.
- ALL WELDS SHALL BE CONTINUOUS AND SHALL BE GROUND SMOOTH. THE RAILING SHALL BE FREE OF SLAG, BURRS, OR OTHER DEFECTS.
- EXPANSION JOINTS SHALL BE PLACED IN RAILINGS EVERY THIRD POST. THE JOINTS SHALL BE CONSTRUCTED AS SHOWN IN THE EXPANSION DETAIL. ADDITIONAL EXPANSION JOINTS AND OR SPECIFICALLY DESIGNED MOUNTING BRACKET/ELEMENTS MAY BE NECESSARY IF THE RAILING IS INSTALLED ON A CURVE.
- ALL POSTS SHALL HAVE A 3/8" WEEP HOLE IMMEDIATELY ABOVE THE CONCRETE SURFACE.
- ALL FABRICATED RAILINGS SHALL HAVE A HOT DIPPED GALVANIZED FINISH AND BE PAINTED. WHEN INSTALLED THE POSTS OF ALL RAILINGS SHALL BE PLUMB.
- THE RAILINGS ARE TO BE WELDED TO ANGLE BRACKETS AND BOLTED INTO CONCRETE SLAB AS SHOWN.

GENERAL NOTES:

- ALL WORK ON THE CITY OF JEFFERSON RIGHT OF WAY, PRIMARILY THE STREET CONNECTIONS, REQUIRES THAT THE CITY OF JEFFERSON DEPARTMENT OF PUBLIC WORKS BE NOTIFIED PRIOR TO BEGINNING WORK. IF THE WORK IS SUCH THAT IT REQUIRES A LANE SHUTDOWN, THE CITY MAY REQUIRE A TRAFFIC CONTROL PLAN. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PRODUCING THIS PLAN FOR CITY APPROVAL AND SHALL BE BASED UPON THE CONTRACTOR'S MEANS AND METHODS.
- THE CONTRACTOR SHALL ENGAGE A PRIVATE AND PUBLIC UTILITY LOCATE SERVICE IN AREAS WHERE GRADING WILL TAKE PLACE. MISSOURI ONE CALL DOES NOT LOCATE ON THIS ENTIRE PROPERTY AS IT IS CONSIDERED PRIVATE PROPERTY. THERE COULD BE PRIVATE UTILITIES THAT ARE NOT SHOWN. CONTACT WITH THE OWNER'S ON-SITE REPRESENTATIVE MAY BE HELPFUL ALSO.
- PROJECT PHASING: THIS PROJECT WILL REQUIRE PHASING AND COORDINATION WITH THE OPERATIONS OF THIS FACILITY. THE CONTRACTOR WILL WORK WITH THE STATE OF MISSOURI, AND ARCHITECT TO SUBMIT A PROJECT PHASING PLAN.



Brad M. Schaefer - Architect
MO# A-2009027294

**BID
DOCUMENTS**

OFFICE OF ADMINISTRATION
DIVISION OF FACILITIES
MANAGEMENT,
DESIGN AND CONSTRUCTION

DEPARTMENT OF
OFFICE OF
ADMINISTRATION

REPAVE PARKING
LOT

PROFESSIONAL
REGISTRATION BLDG.
3605 MISSOURI BLVD.
JEFFERSON CITY, MO 65109

PROJECT # O2364-01
SITE # 1014
ASSET # 3101014001

REVISION: _____
DATE: _____
REVISION: _____
DATE: _____
REVISION: _____
DATE: _____
ISSUE DATE: 6/28/2024

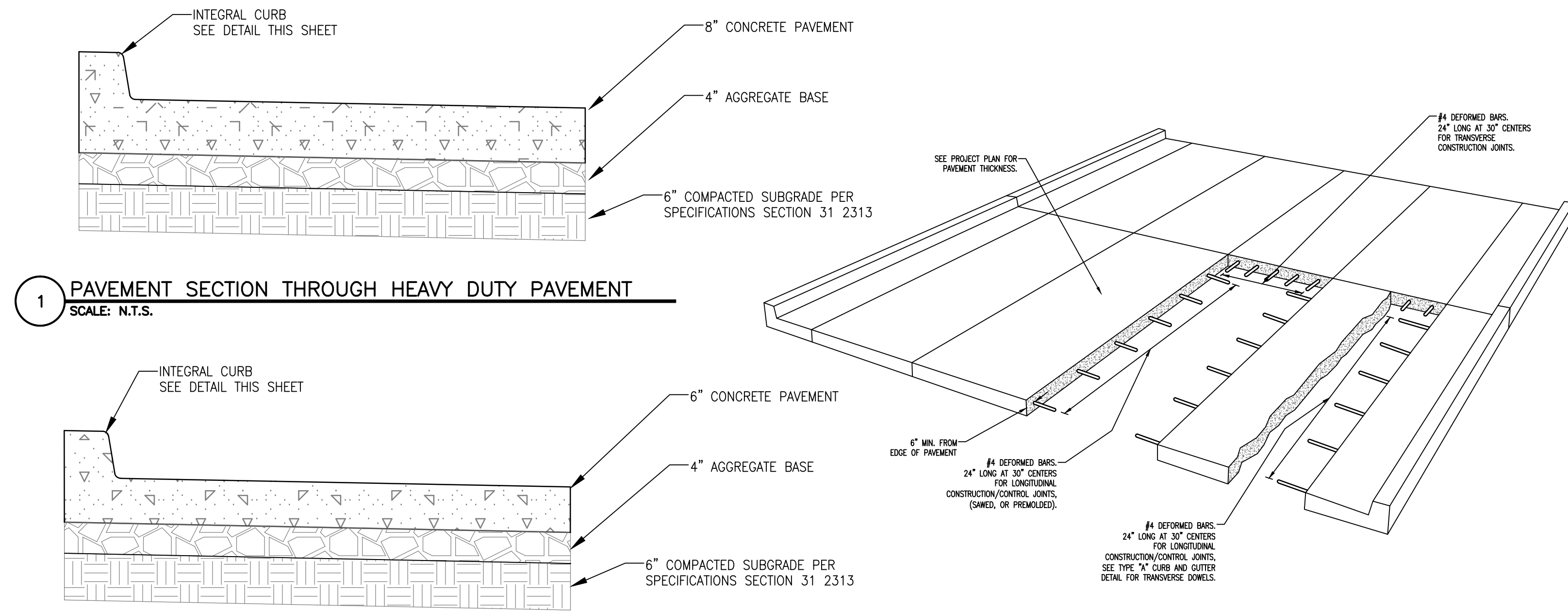
CAD DWG FILE: _____
DRAWN BY: RTG _____
CHECKED BY: BMS _____
DESIGNED BY: BMS _____

SHEET TITLE:
DETAILS

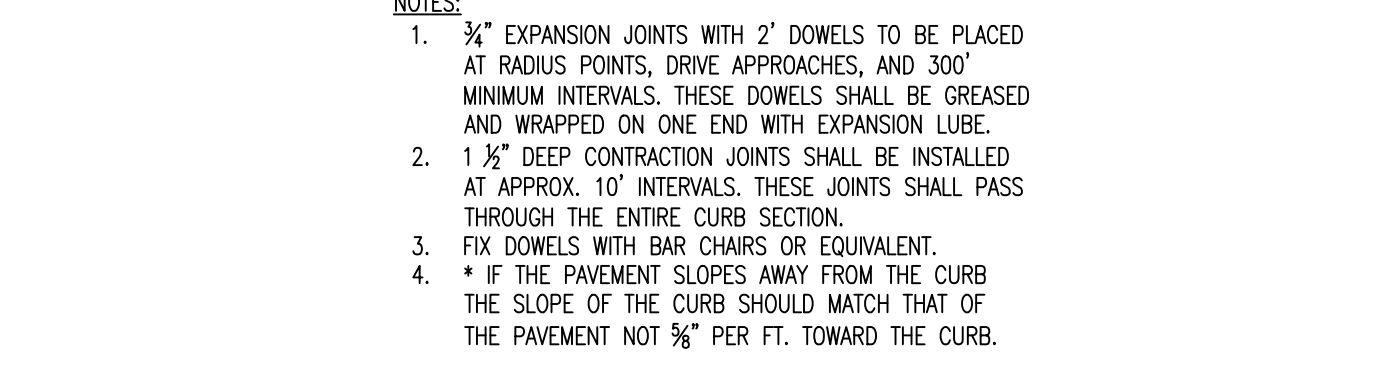
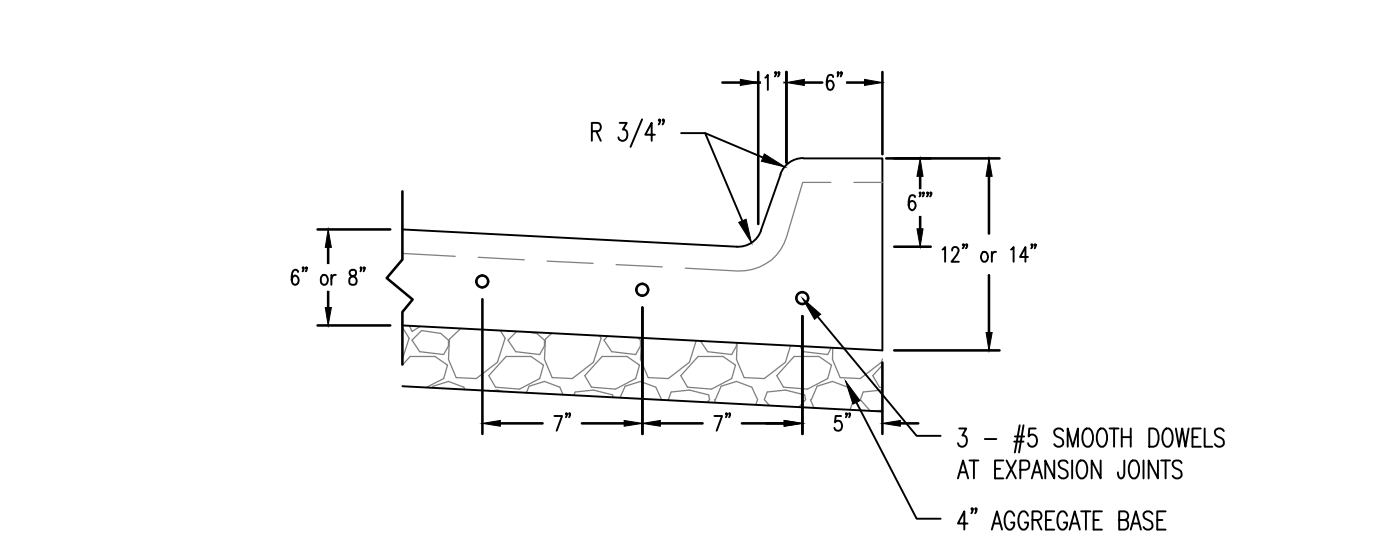
SHEET NUMBER:

A-500

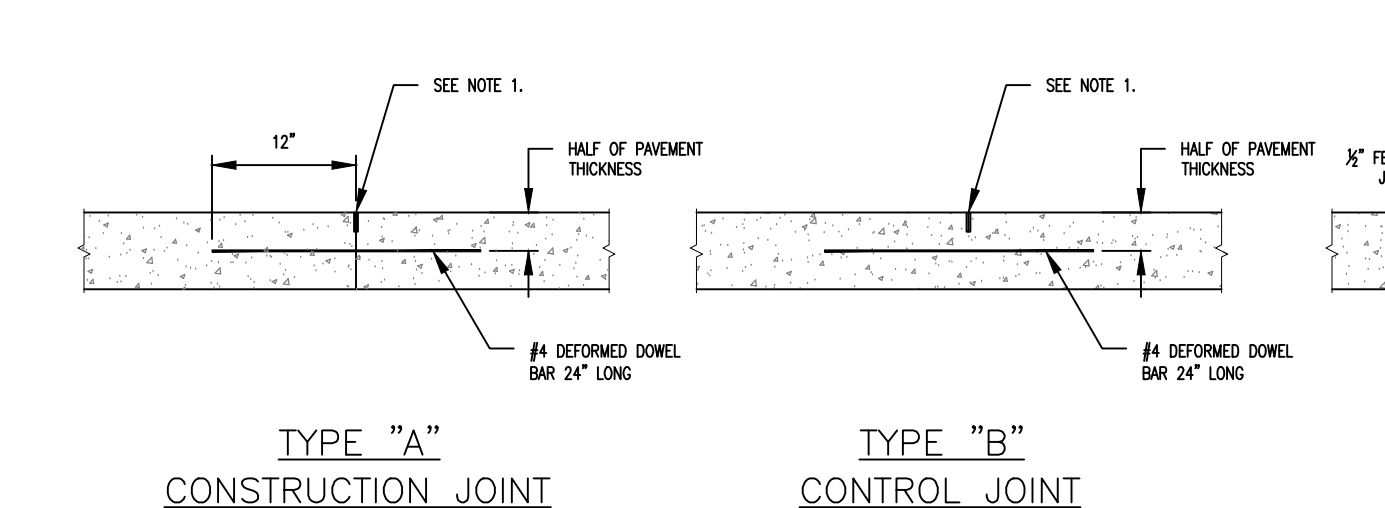
9 OF 9 SHEETS
6/28/2024



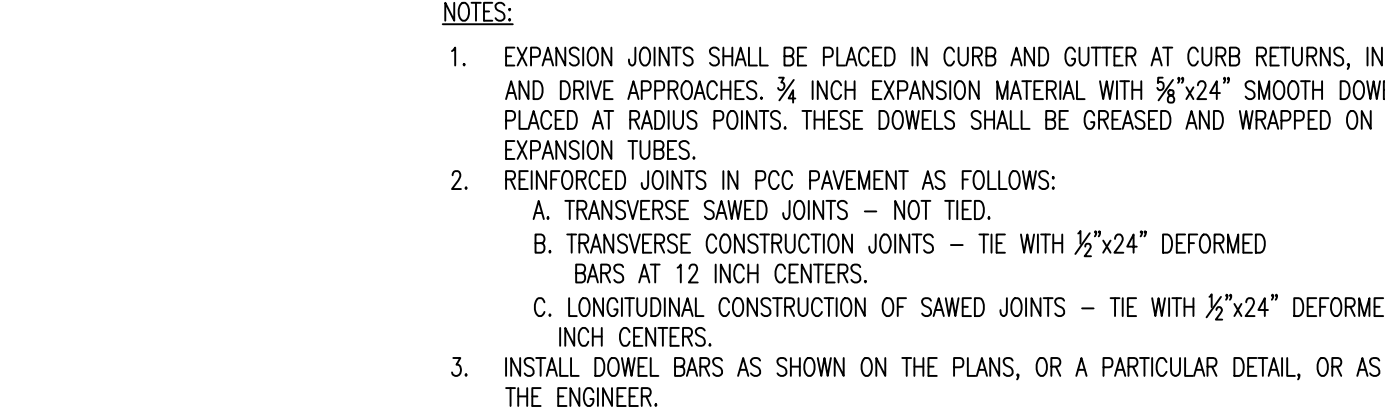
1 PAVEMENT SECTION THROUGH HEAVY DUTY PAVEMENT
SCALE: N.T.S.



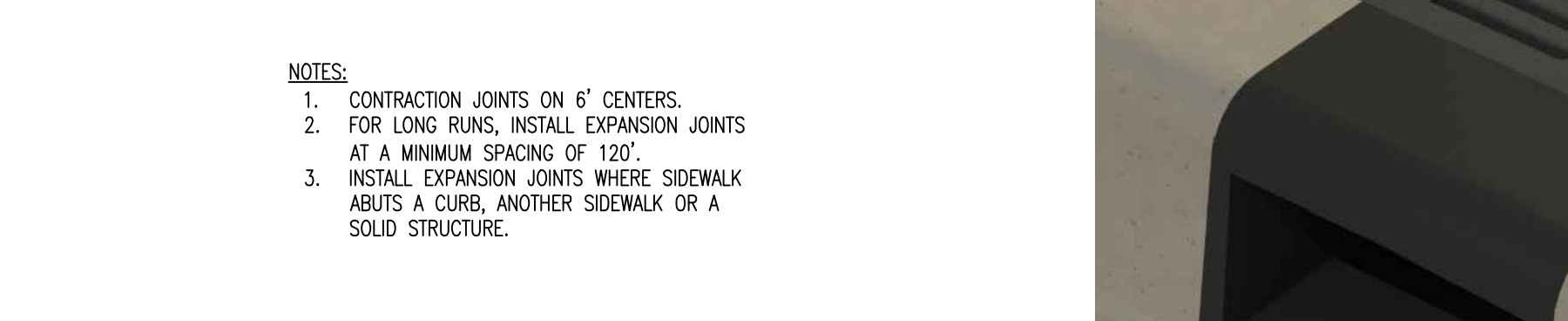
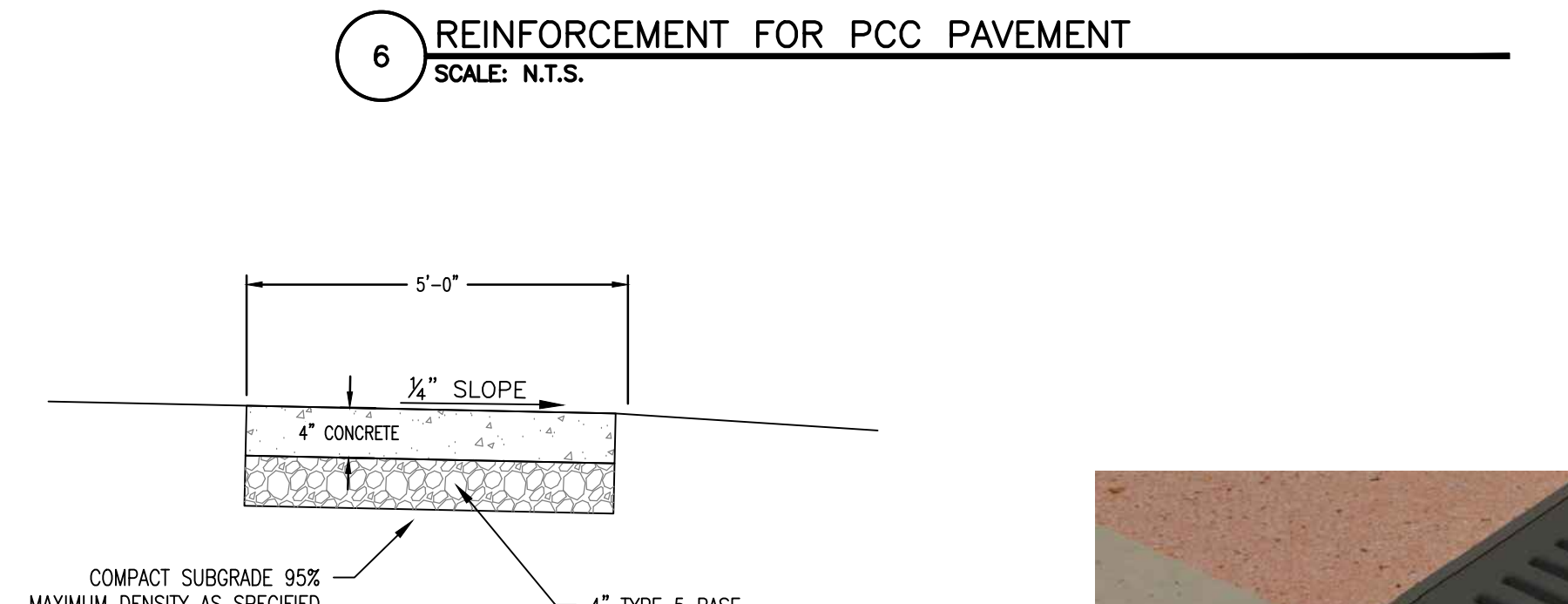
3 INTERGRAL CURB AND GUTTER DETAIL
SCALE: N.T.S.



4 TYPICAL SIDEWALK SECTION DETAIL
SCALE: N.T.S.



5 TYPICAL CONCRETE JOINT DETAILS
SCALE: N.T.S.



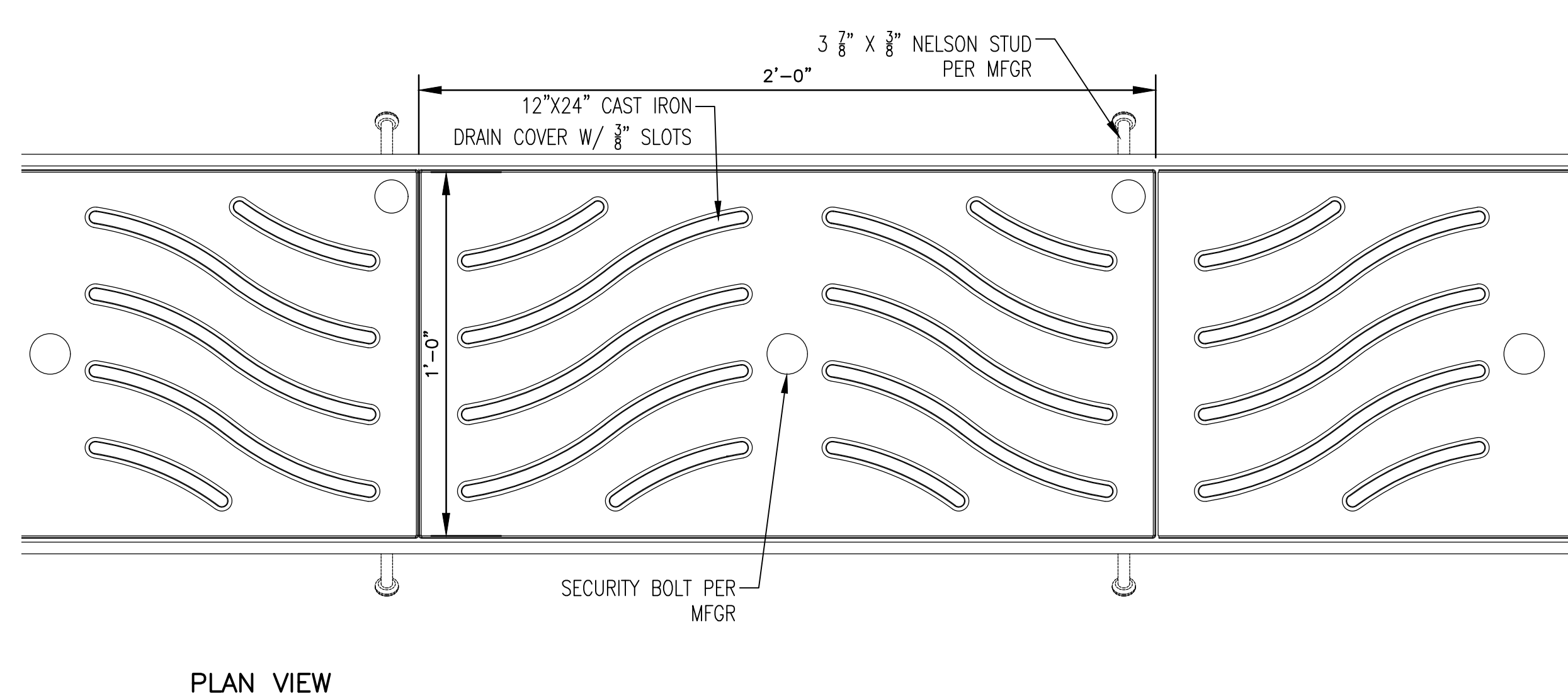
7 TRENCH DRAIN DETAIL
SCALE: 3"=1'-0"



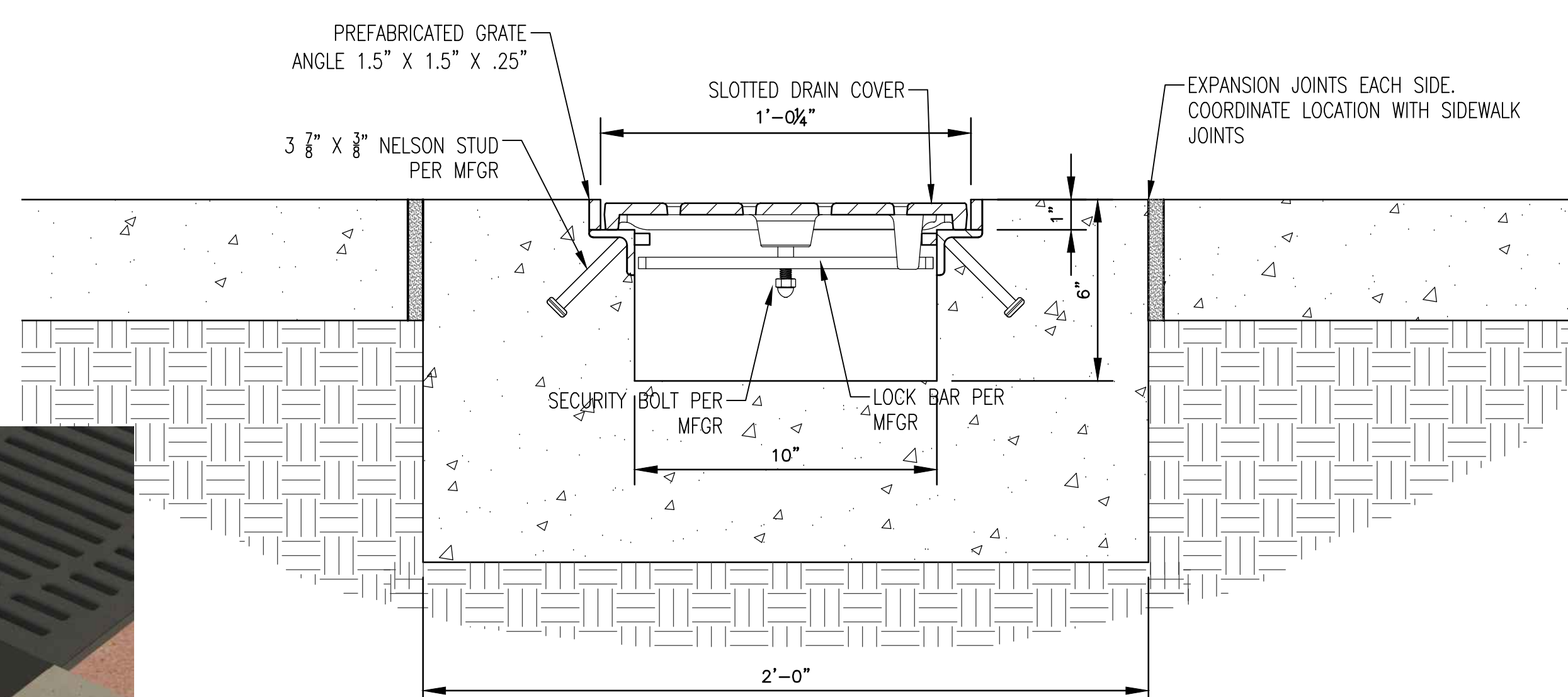
8 CONCRETE FLUME DETAIL
SCALE: N.T.S.

GENERAL NOTES:

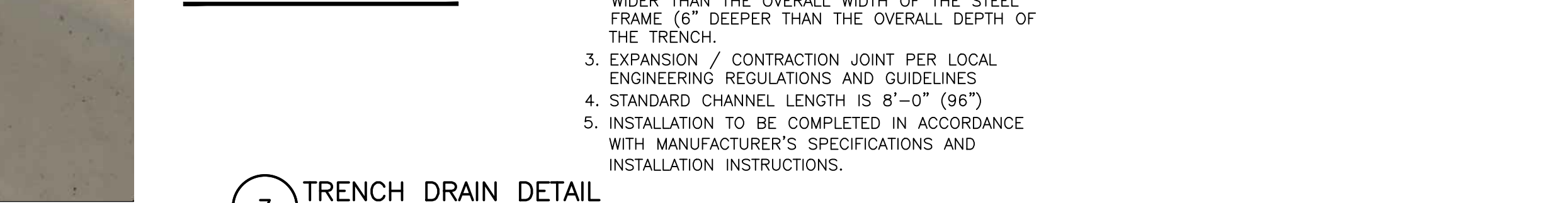
- MOST OF THE PROJECT IS A REMOVE AND REPLACE TYPE OF CONSTRUCTION. AS SUCH MOST AREAS DO NOT HAVE DETAILED GRADING DESIGN AS THE REPLACEMENT PAVING WILL MATCH EXISTING PAVING. ALL AREAS WHICH DO NOT SHOW PROPOSED GRADES OR CONTOURS SHALL USE EXISTING GRADES. IT IS RECOMMENDED THE CONTRACTOR SURVEY THE EXISTING CURB HEIGHT AND SET AN OFFSET PRIOR TO REMOVAL AND THEN BUILD THE NEW CURB OFF OF THIS OFFSET.
- PARKING SIGNS AND OTHER STRUCTURES WHICH EXIST THROUGHOUT THE SITE SHALL BE LEFT IN PLACE UNLESS CALLED FOR REMOVAL. IF DISTURBED DURING CONSTRUCTION, THE CONTRACTOR SHALL REINSTALL OR REPLACE.
- ALL WORK ON THE CITY OF JEFFERSON RIGHT OF WAY, PRIMARILY THE STREET CONNECTIONS, REQUIRES THAT THE CITY OF JEFFERSON DEPARTMENT OF PUBLIC WORKS BE NOTIFIED PRIOR TO BEGINNING WORK. IF THE WORK IS SUCH THAT IT REQUIRES A LANE SHUTDOWN, THE CITY MAY REQUIRE A TRAFFIC CONTROL PLAN. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PRODUCING THIS PLAN FOR CITY APPROVAL AND SHALL BE BASED UPON THE CONTRACTOR'S MEANS AND METHODS.
- THE CONTRACTOR SHALL ENGAGE A PUBLIC AND PRIVATE UTILITY LOCATE SERVICE IN AREAS WHERE GRADING WILL TAKE PLACE. MISSOURI ONE CALL DOES NOT LOCATE ON THIS ENTIRE PROPERTY AS IT IS CONSIDERED PRIVATE PROPERTY. THERE COULD BE PRIVATE UTILITIES THAT ARE NOT SHOWN. CONTACT WITH THE OWNER'S ON-SITE REPRESENTATIVE MAY BE HELPFUL ALSO.
- MOST AREAS CONSIST OF REPLACEMENT PAVING AND CURB. AREAS WHICH ARE TO BE DEMOLISHED, BUT NOT RE-PAVED ARE CALLED OUT AS SUCH. REFER TO DEMOLITION PLANS
- PROJECT PHASING: THIS PROJECT WILL REQUIRE PHASING AND COORDINATION WITH THE OPERATIONS OF THIS FACILITY. THE CONTRACTOR WILL WORK WITH THE STATE OF MISSOURI, AND ARCHITECT TO SUBMIT A PROJECT PHASING PLAN.
- QUANTITY DISCLAIMER: VARIOUS QUANTITIES ARE SHOWN ON THE PLAN SHEETS, SUCH AS AREA OF PAVING IN EACH PROJECT AREA. THE CONTRACTOR IS RESPONSIBLE FOR VERIFYING ALL QUANTITIES AND NO ADDITIONAL PAYMENTS WILL BE MADE IF FINAL QUANTITIES DO NOT MATCH PLANS.
- THE CONTRACTOR IS RESPONSIBLE FOR THE PROVISION OF ALL MATERIALS, TOOLS, EQUIPMENT, AND LABOR NECESSARY TO CONTROL EROSION, SILTATION, AND DISCHARGES OF FILL MATERIAL (SEDIMENT) INTO DOWNSIDE SYSTEMS. THIS SHALL BE REQUIRED DURING ALL PHASES OF CONSTRUCTION AND UNTIL SUITABLE GROUND COVER IS ESTABLISHED FOR ALL DISTURBED AREAS. IF ANY METHOD OF CONTROL FAILS, THE CONTRACTOR SHALL NOTIFY THE OWNER IMMEDIATELY, SO THAT THE OWNER CAN REVIEW THE CONTRACTOR'S PROPOSED METHOD OF REPAIR.
- CONTRACTOR SHALL PROVIDE TEMPORARY EROSION CONTROL AS SHOWN ON THE DRAWINGS AND AS DIRECTED BY THE DESIGNER. EROSION FENCE AND BEST MANAGEMENT PRACTICES SHALL REMAIN IN PLACE UNTIL THE PROJECT IS COMPLETED AND GRASS IS ESTABLISHED. THE CONTRACTOR SHALL MONITOR EROSION AND SEDIMENT CONTROL MEASURES THROUGHOUT THE PROJECT. PROVIDE SWPPP AND ASSOCIATED INSPECTIONS.
- IMMEDIATELY AFTER MOBILIZATION AND PRIOR TO STARTING ANY SOIL DISTURBING ACTIVITIES, THE CONTRACTOR SHALL INSTALL THE PERIMETER EROSION AND SEDIMENT CONTROL MEASURES. SEE LAND DISTURBANCE IN APPENDIX 1.
- THE CONSTRUCTION ENTRANCE SHALL BE MAINTAINED BY THE CONTRACTOR IN A CONDITION THAT WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC RIGHT-OF-WAYS AND PAVED STREETS. CLEANING ON A DAILY BASIS OF RIGHT-OF-WAYS AND STREETS THAT HAVE BEEN SOILED BY CONSTRUCTION ACTIVITIES SHALL BE THE CONTRACTOR'S RESPONSIBILITY.
- NO GROUND SHALL BE LEFT OPEN FOR MORE THAN 14 DAYS OF NON-ACTIVITY WITHOUT BEING SEEDED AND MULCHED. SOIL STOCKPILED FOR MORE THAN 7 DAYS SHALL HAVE SILT FENCE OR BALES PLACED ON THE DOWNHILL SLOPE TO TRAP SEDIMENT.



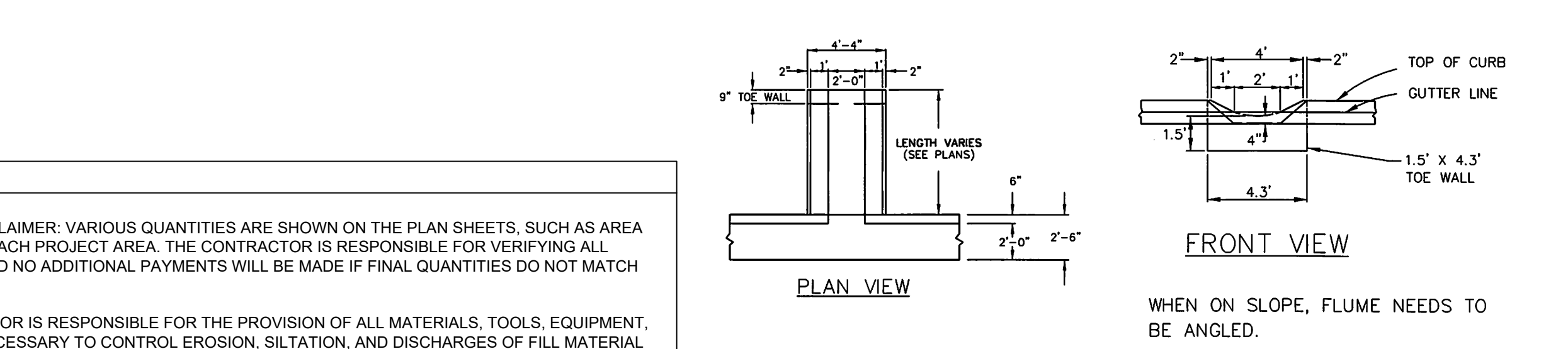
PLAN VIEW



SECTION VIEW



FRONT VIEW



ISOMETRIC VIEW

INSTALLATION NOTES:

- ADD REBAR AS REQUIRED
- A TRENCH SHALL BE EXCAVATED A MINIMUM OF 12" WIDER THAN THE OVERALL WIDTH OF THE STEEL FRAME (6" DEEPER THAN THE OVERALL DEPTH OF THE TRENCH.
- EXPANSION / CONTRACTION JOINT PER LOCAL ENGINEERING REGULATIONS AND GUIDELINES
- STANDARD CHANNEL LENGTH IS 8'-0" (96")
- INSTALLATION TO BE COMPLETED IN ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS AND INSTALLATION INSTRUCTIONS.

7 TRENCH DRAIN DETAIL
SCALE: 3"=1'-0"



SIDE DISCHARGE CURB DETAIL