

ADDENDUM NO. 2

TO: REQUEST FOR QUALIFICATIONS FOR STATE OF MISSOURI:

**Design/Build Services
New Administrative Offices and Fleet Garage
Office of Administration, Division of General Services
Jefferson City, Missouri
PROJECT NO.: O2548-01**

Submission of Statements of Qualifications Until: **March 4, 2026 (Not Changed)**

Proposers are hereby informed that the Request for Qualifications (RFQ) for the above referenced project is modified as follows:

RFQ Changes:

- Section 1.3(a) Owner's Objective
Change to: A 7,500+ SF administrative office building
- Section 1.3(b) Owner's Objective,
Change to: An 18,000+ SF maintenance garage
- Section 1.4.1.
Change Header to: Administrative Office Building (Approx. 7,500 SF)
- Section 1.4.1(a) the 14 workstations will have Owner provided and installed furniture, contractor to provide power and communications.
- Section 1.4.2.
Change Header to: Fleet Maintenance Garage (Approx. 18,000 SF, Climate-Controlled)
- Section 1.4.2(b), Change to 10 main shop bays
- Section 1.4.2(u), DELETE Automated Single Bay Carwash
- Section 1.4.2(i), the 8 workstations will have Owner provided and installed furniture, contractor to provide power and communications.
- Section 1.4.4(h), add the following: The following lifts are to be provided and installed by the contractor. (2) 12K, (2) 15k, (2) Pad Lifts, (1) 18K Open Front Long Deck 211" 4 Post Drive on Lift with Full-Floating Flush Power Slide slip plates. There are 3 lifts that are Owner provided; contractor installed.
- Section 1.5(f) Liquidated Damages
Change to: Liquidated Damages: \$1,200 per workday

RFQ Clarifications:

This project will have a site ready building pad, with existing parking lots. Storm sewer, sanitary sewer, water, electric and communications are stubbed up near the building pad. Limited sitework, such as connecting utility stubs to building, providing the transformer, walkway and driveway connections to parking will be required. See attached site plan for parking lots being constructed in another project that is near completion. Please note the building outline on this plan was a preliminary study and will be subject to bidder's design.

- **Does the Owner have an additional contingency on top of the \$6.3 million budget, or does the contingency need to be included in the \$6.3 million?** *The State has a small contingency.*
- **Will the paint booth be provided by the owner or will the paint booth procurement need to be included in the cost?** *The Paint booth listed in the RFQ is to be provided and installed by the contractor. Ultra XD Down Draft Paint Booth Basis of Design.*
- **Will any of the vehicles be electric or LP fuel vehicles?** *The state currently does not have any alternative energy vehicles in the fleet.*

- **Is there a basis of design automated carwash system? Is that system included in the \$6.3M?** *The automated car wash has been deleted from the scope of work.*
- **Is there a basis of design for the vehicle exhaust extraction system?** *The basis of design for the vehicle exhaust extraction system is Harvey Exhaust Rail System.*
- **Has there been any phase 1 environmental assessments or geotechnical reports done for the site?** *The site is currently under construction, and a geotechnical report was prepared before the site was filled. We will also have compact fill reports from current project. We will be conducting another geotechnical report when that site prep project is complete.*
- **Does the State have a site survey in AutoCAD available to us, or do we need to do a survey to gain topography, setbacks, easements, utilities, etc.?** *The State will have AutoCAD design drawings for the current site preparation job that will provide a building ready site for this project.*
- **From mandatory work sessions (3/20/2026) to proposal due date (4/15/2026) is only 3.5 weeks. What level of drawings are required to be provided for the next submittal?** *See Section 3.2(d) of the RFQ where the Teams will present and receive feedback from the Owner on preliminary design ideas.*
- **What review process will be required by the State post Intent of Award on 04/30/2026?** *We will have a Design Development review and a Construction Document Review.*
- **Who will be the Authority Having Jurisdiction for this project: State or City of Jefferson?** *The State of Missouri is the Authority having jurisdiction; however, Phase 2 sewer connection process will still need to go through proper channels.*
- **Is the loft/mezzanine square footage included in the 20,000 sq. ft. (now clarified to approximately 18,000SF) for the Fleet Maintenance Garage?** *18,000 in the Fleet Maintenance Garage is the footprint, not total square footage.*

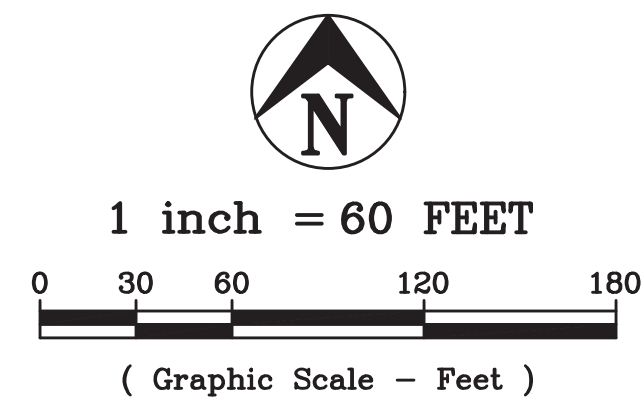
GENERAL COMMENTS:

1. Please contact Becky Mitchell, OA-FMDC Contract Services Manager, at (573) 751-8884, Becky.Mitchell@oa.mo.gov for questions regarding submission procedures or Andy Carroll, R.A., OA-FMDC Project Manager, (573) 751-8913, Andy.Carroll@oa.mo.gov for project specific and technical questions.
2. The deadline for technical questions was February 17, 2026.
3. All correspondence with respect to this project must include the State of Missouri project number as indicated above.
4. Current Planholders list is available online at: <https://www.oafmdcplanroom.com/projects/3187/details/o2548-01-statement-of-qualifications-for-designbuild-services-new-admin-offices-fleet-garage>
5. *As a reminder, all Statements of Qualifications shall be delivered to the address provided on the first page of the RFQ or as modified via written addenda by the date and time specified. Late proposals will not be considered. The Proposer is solely responsible for submitting a response on time.*

ATTACHMENTS:

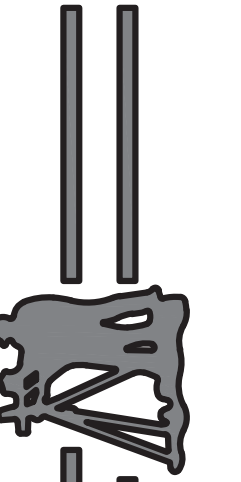
Site Plan

**February 19, 2026
END ADDENDUM NO. 2**



02/11/25

Central Missouri Professional Services, Inc.
ENGINEERING - SURVEYING - MATERIALS TESTING
2500 E. McCARTY
JEFFERSON CITY, MISSOURI 65101



Central Missouri Professional Services, Inc.
Missouri State Certificate of Authority #001558

OFFICE OF ADMINISTRATION
DIVISION OF FACILITIES
MANAGEMENT,
DESIGN AND CONSTRUCTION

DEPARTMENT OF
Office of
Administration

SITE DEVELOPMENT
AND SECURITY

SCRUGGS STATION
WAREHOUSE
4720 SCRUGGS STATION RD.
JEFFERSON CITY, MO 65109

PROJECT # 0243308
SITE # 1046
FACILITY # 3101046001

REVISION: _____
DATE: _____
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REVISION: _____
DATE: _____
ISSUE DATE: 2/11/2025

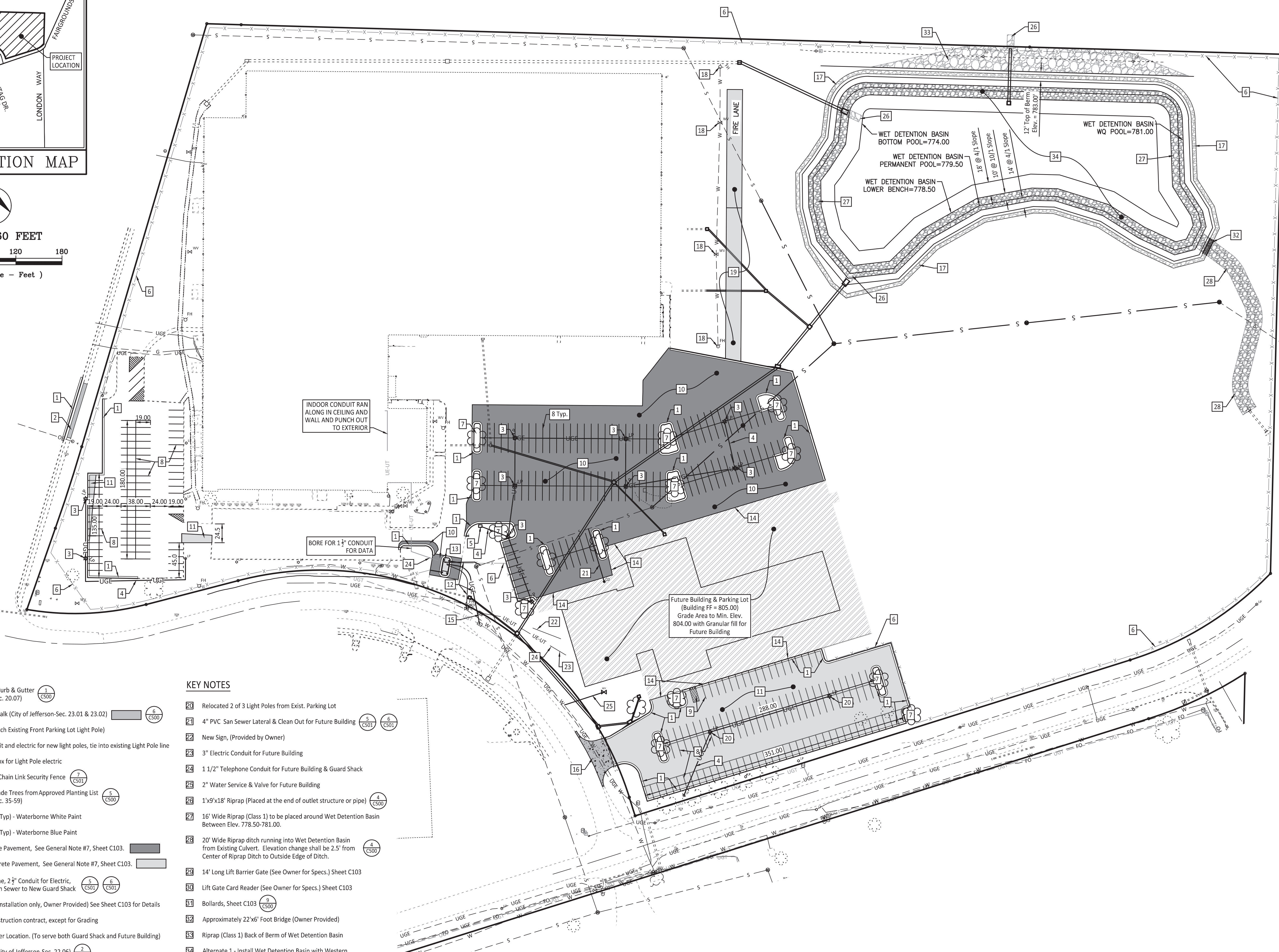
CAD DWG FILE: 81-099 State OA Fleet
DRAWN BY: GJS
CHECKED BY: GJS
DESIGNED BY: GJS

SHEET TITLE:
SITE PLAN

SHEET NUMBER:

C102

4 OF 9 SHEETS
02/11/2025



KEY NOTES

- 1 Type "A" Concrete Curb & Gutter (City of Jefferson-Sec. 20.07)
- 2 5' Wide Conc. Sidewalk (City of Jefferson-Sec. 23.01 & 23.02)
- 3 LED Light Poles (Match Existing Front Parking Lot Light Pole)
- 4 Underground conduit and electric for new light poles, tie into existing Light Pole line
- 5 Underground pull box for Light Pole electric
- 6 6' Black Galvanized Chain Link Security Fence
- 7 Medium Canopy Shade Trees from Approved Planting List (City of Jefferson-Sec. 35-59)
- 8 Pavement Marking (Typ) - Waterborne White Paint
- 9 Pavement Marking (Typ) - Waterborne Blue Paint
- 10 Heavy Duty Concrete Pavement, See General Note #7, Sheet C103.
- 11 Standard Duty Concrete Pavement, See General Note #7, Sheet C103.
- 12 Provide 1" Water Line, 2" Conduit for Electric, & 4" PVC Lateral San Sewer to New Guard Shack
- 13 New Guard Shack, (Installation only, Owner Provided) See Sheet C103 for Details
- 14 Edge of current construction contract, except for Grading
- 15 Electrical Transformer Location. (To serve both Guard Shack and Future Building)
- 16 Commercial Drive (City of Jefferson-Sec. 22.06)
- 17 5' wide Chat Sidewalk, with Barrier Cloth Underneath
- 18 Raise Exist. Water Values and Fire Hydrant to New Grade & Fire Department Specs.
- 19 20' wide Regular Duty Concrete Pavement Fire Lane. (No Curb and Gutter)

KEY NOTES

- 20 Relocated 2 of 3 Light Poles from Exist. Parking Lot
- 21 4" PVC San Sewer Lateral & Clean Out for Future Building
- 22 New Sign, (Provided by Owner)
- 23 3" Electric Conduit for Future Building
- 24 1 1/2" Telephone Conduit for Future Building & Guard Shack
- 25 2" Water Service & Valve for Future Building
- 26 1'x9'x18' Riprap (Placed at the end of outlet structure or pipe)
- 27 16' Wide Riprap (Class 1) to be placed around Wet Detention Basin Between Elev. 778.50-781.00.
- 28 20' Wide Riprap ditch running into Wet Detention Basin from Existing Culvert. Elevation change shall be 2.5' from Center of Riprap Ditch to Outside Edge of Ditch.
- 29 14' Long Lift Barrier Gate (See Owner for Specs.) Sheet C103
- 30 Lift Gate Card Reader (See Owner for Specs.) Sheet C103
- 31 Bollards, Sheet C103
- 32 Approximately 22'x6' Foot Bridge (Owner Provided)
- 33 Riprap (Class 1) Back of Berm of Wet Detention Basin
- 34 Alternate 1 - Install Wet Detention Basin with Western Environmental Geomembrane Liner (Aqua 30 Coext) or equivalent.

Space Reserved for Approving Authority