

RENOVATE ROOF SYSTEM LAMAR READINESS CENTER LAMAR, MISSOURI



OWNER: STATE OF MISSOURI
MICHAEL L. PARSON,
GOVERNOR

DEPARTMENT OF PUBLIC SAFETY
MISSOURI NATIONAL GUARD
OFFICE OF ADJUTANT GENERAL

PROJECT MANAGEMENT: OFFICE OF ADMINISTRATION
DIVISION OF FACILITIES MANAGEMENT,
DESIGN AND CONSTRUCTION

SHEET INDEX: GENERAL

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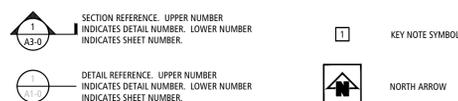
DESIGNER: BUXTON KUBIK DODD
DESIGN COLLECTIVE

PROJECT NUMBER: T1904-01

SITE NUMBER: 6278
ASSET NUMBER: 8136278002

SYMBOLS LEGEND

NOTE: SYMBOLS SHOWN IN LEGENDS ARE TYPICAL AND ALL SYMBOLS MAY NOT OCCUR ON THIS PROJECT



ABBREVIATIONS

ABBREVIATIONS APPLY TO ARCHITECTURAL SHEETS ONLY AND ARE TYPICAL AND MAY OR MAY NOT OCCUR ON THIS PROJECT. IF AN ABBREVIATION FOUND ON DOCUMENTS IS NOT LISTED, CONTRACTOR SHALL CONTACT ARCHITECT FOR INTERPRETATION.

ETC USED AT THE END OF A LIST TO INDICATE THAT FURTHER, SIMILAR ITEMS ARE INCLUDED
IBC 2018 INTERNATIONAL BUILDING CODE
E FOR EXAMPLE
MAX MAXIMUM
MIN MINIMUM
NYS NOT TO SCALE
PREP PREPARE SOMETHING, MAKE READY
SMACNA SHEET METAL AND AIR CONDITIONING CONTRACTORS NATIONAL ASSOCIATION



BARTON COUNTY
MISSOURI

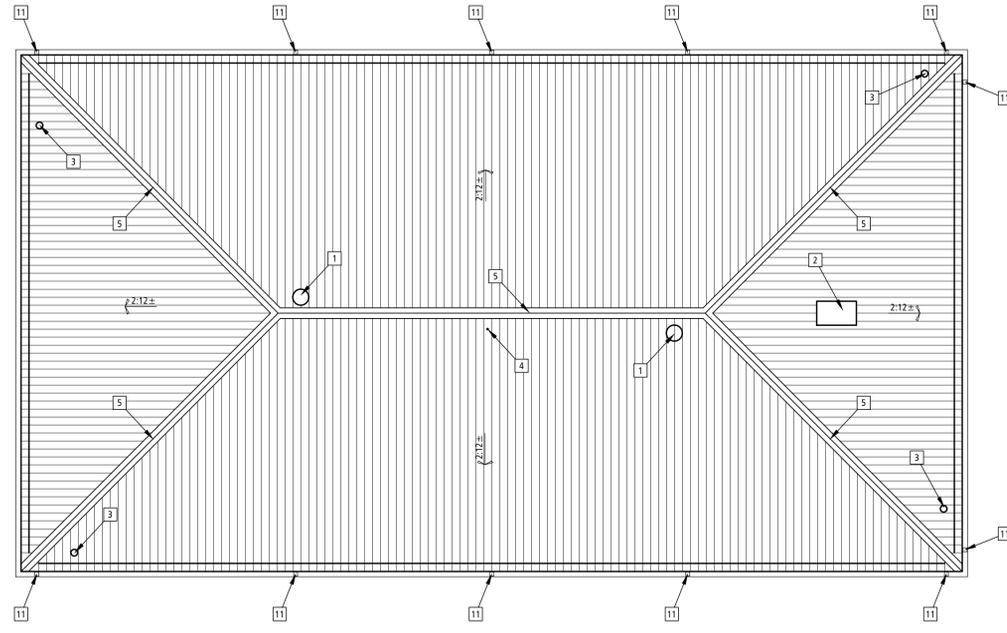


106 BROADWAY
LAMAR, MO 64759

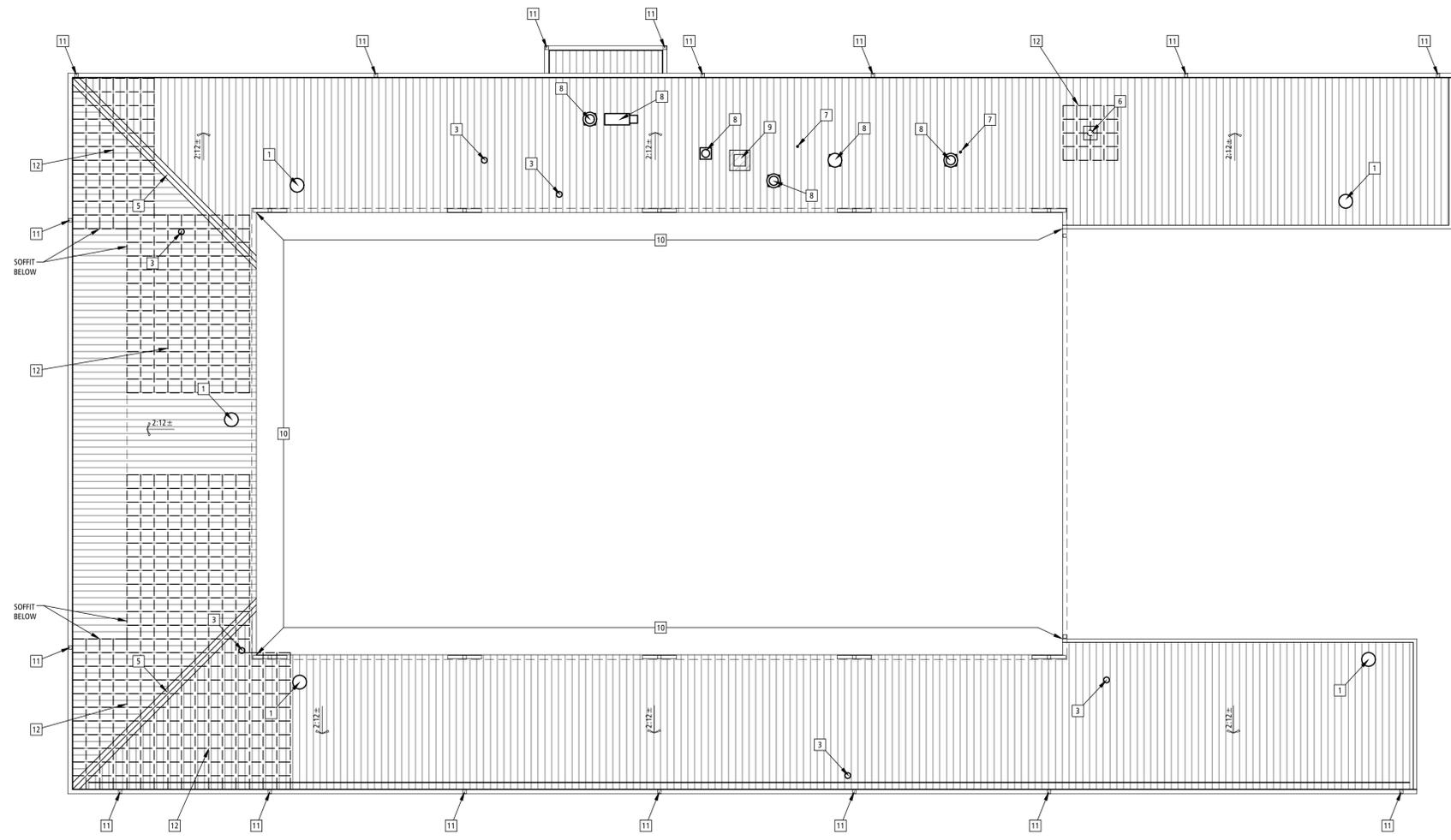
SHEET NUMBER:

G-001

SHEET 1 OF 8 SHEETS
12/02/2019



DEMOLITION UPPER ROOF PLAN 2
 SCALE: 3/32" = 1'-0" AD-101



DEMOLITION LOWER ROOF PLAN 1
 SCALE: 3/32" = 1'-0" AD-101

GENERAL DEMOLITION NOTES

- COORDINATE REMOVAL OF EXISTING PIPING, CONDUIT, ELECTRICAL/MECH SYSTEM WITH PENETRATION REPLACEMENT. REPLACE ALL EQUIPMENT CURBS, BOOTS, COLLARS, ETC DURING ROOF REPLACEMENT. RETAIN AND PROTECT TEMPORARY REMOVED EQUIPMENT, EQUIPMENT AND OR EQUIPMENT OPENING. MAY REQUIRE TEMPORARY SUPPORT AND OR BRACING DURING ROOF REPLACEMENT. CONTRACTOR SHALL FULLY SERVICE ALL REUSED MATERIALS/EQUIPMENT TO BE REUSED DURING INSTALLATION. CONTRACTOR IS RESPONSIBLE TO VERIFY AND MAINTAIN THE FUNCTION AND AESTHETIC INTEGRITY OF THE MATERIALS.
- SEE SPECIFICATIONS FOR DISPOSAL OF ALL DEMOLISHED MATERIALS AND DEBRIS. OWNER RESERVES THE RIGHT TO SALVAGE ANY MATERIALS.
- SEE DETAILS FOR ADDITIONAL DETAILED DEMOLITION INFORMATION.
- PROTECT ADJACENT BUILDING SURFACE(S)/MATERIALS AND EQUIPMENT FROM DAMAGE DUE TO ANY DEMOLITION OR CONSTRUCTION - RELATED ACTIVITIES.
- SEE PLANS, ELEVATIONS, AND DETAILS ALSO FOR NEW CONSTRUCTION AND ITS AFFECT ON DEMOLITION ITEMS DESCRIBED HERE IN. NOT ALL DEMOLITION REQUIRED MAY BE SHOWN ON THE DEMOLITION PLANS. THESE PLANS ARE FOR GENERAL INFORMATION & DESIGN INTENT. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO FULLY REVIEW AND UNDERSTAND THE CONTRACT DOCUMENTS AND THE EXTENT OF DEMOLITION REQUIRED FOR NEW CONSTRUCTION INDICATED.
- BEFORE ANY DEMOLISHING BEGINS, REMOVE ALL OWNER ITEMS, I.E., ANTENNA, WEATHER STATION, ETC. SALVAGE / RETAIN FOR INSTALLATION FOLLOWING NEW ROOF CONSTRUCTION.
- INFORMATION CONTAINED ON THESE DRAWINGS WITH REGARD TO EXISTING CONDITIONS OF CONSTRUCTION IS PROVIDED FOR THE CONVENIENCE OF THE GENERAL CONTRACTOR IN EXECUTING THE WORK. EVERY ATTEMPT HAS BEEN MADE TO PROVIDE COMPLETE AND ACCURATE REPRESENTATIONS OF SUCH EXISTING CONDITIONS. THIS INTERPRETATION HAS BEEN TAKEN FROM RECORD SETS OF "AS-BUILT" DRAWINGS ON FILE AT AND HAS AS BEEN FURTHER SUPPLEMENTED BY EXTENSIVE FIELD-MEASUREMENT AND OBSERVATIONS. THE ARCHITECT CANNOT AND DOES NOT GUARANTEE THE ACCURACY OF ANY SUCH INFORMATION AND ASSUMES LIABILITY THEREOF.
- THE INFORMATION CONTAINED ON THESE DRAWINGS WITH REGARD TO EXISTING CONDITIONS OF CONSTRUCTION IN NO WAY RELEASES THE GENERAL CONTRACTOR FROM THE RESPONSIBILITY FOR VERIFYING COMPLETELY ALL FIELD CONDITIONS RELATING TO AND AFFECTING THE EXECUTION OF THE WORK, AS DESCRIBED IN THESE CONTRACT DOCUMENTS.
- IT IS THE RESPONSIBILITY OF THE GENERAL CONTRACTOR TO FIELD VERIFY AND DOCUMENT ALL EXISTING DIMENSIONS, ELEVATIONS AND BENCHMARKS, MATERIALS AND METHODS OF CONSTRUCTION THAT MAY AFFECT OR BE AFFECTED BY NEW WORK, AND TO COORDINATE SUCH FIELD VERIFICATION WITH THE CONTRACT DOCUMENTS AND THE EXECUTION OF THE WORK. DISCREPANCIES AND/OR CONFLICTS INVOLVING ANTICIPATED EXISTING CONDITIONS SHALL BE BROUGHT TO THE ARCHITECT'S ATTENTION IMMEDIATELY.
- IT IS THE RESPONSIBILITY OF THE GENERAL CONTRACTOR TO ASSIST THE OWNER REPRESENTATIVE/ARCHITECT IN MAKING THEIR EVALUATIONS AND RECOMMENDATIONS BY PROVIDING IN A TIMELY MANNER, AT NO ADDITIONAL COST TO THE OWNER, ACCURATE AND COMPLETE DRAWINGS, SKETCHES, AND PHOTOGRAPHS SUFFICIENT TO CLEARLY DESCRIBE DISCREPANCIES, CONFLICTS, AND CONCEALED OR OTHERWISE UNANTICIPATED EXISTING CONDITIONS AFFECTING NEW CONSTRUCTION. THE GENERAL CONTRACTOR SHALL FURTHER ASSIST THE OWNER REPRESENTATIVE/ARCHITECT BY PROVIDING IN A TIMELY MANNER PREPARED SOLUTIONS TO UNANTICIPATED EXISTING CONDITIONS. REFER TO SPECIFICATION SECTION 013100 1.4, A FOR COORDINATION.
- ALL AREAS ABOVE OR ON THE EXISTING CEILING THAT ARE AFFECTED BY INSTALLATION OF NEW WORK SHALL BE REPAIRED COMPLETELY WITH MATERIALS AND PRODUCTS TO MATCH EXISTING INSTALLATION.

DEMOLITION ROOF PLAN KEYNOTES

- COMPLETELY REMOVE AND DISPOSE OF EXISTING WIND TURBINE / CURB / COLLAR / PENETRATION, ETC. COMPLETELY REMOVE AND DISPOSE OF EXISTING GALVANIZED FLUE PIPE BOOT; DOCUMENT AND RECORD EXISTING EQUIPMENT PENETRATION FOR REPLACEMENT WITH LIKE PENETRATION IN ROOF; CLEAN AND PREP ROOF FOR INSTALLATION OF NEW BOOT AND ASSOCIATED FLASHING. TYPICAL ALL LOCATIONS.
- ROOF ACCESS HATCH; REMOVE ALL LOOSE PAINT.
- COMPLETELY REMOVE AND DISPOSE OF EXISTING GAS FLUE VENT PIPING / CURB / COLLAR / PENETRATION, ETC. COMPLETELY REMOVE AND DISPOSE OF EXISTING GALVANIZED FLUE PIPE BOOT; DOCUMENT AND RECORD EXISTING EQUIPMENT PENETRATION FOR REPLACEMENT WITH LIKE PENETRATION IN ROOF; CLEAN AND PREP ROOF FOR CONSTRUCTION. TYPICAL ALL LOCATIONS.
- COMPLETELY REMOVE AND DISPOSE OF RIGID CONDUIT / CURB / COLLAR / PENETRATION, ETC. DOCUMENT AND RECORD EXISTING EQUIPMENT PENETRATION FOR REPLACEMENT WITH LIKE PENETRATION IN ROOF; CLEAN AND PREP ROOF FOR CONSTRUCTION. TYPICAL ALL LOCATIONS.
- COMPLETELY REMOVE EXISTING RIDGE CAP; REMOVE "Z" CLIP AND ALL SEALANT FROM ROOF PANELS; CLEAN AND PREPARE ROOF SURFACE FOR CONSTRUCTION. TYPICAL ALL LOCATIONS.
- COMPLETELY REMOVE AND DISPOSE OF EXISTING GAS FLUE VENT PIPING / CURB / COLLAR / PENETRATION, ETC. THAT HAS BEEN USED FOR MULTIPLE FURNACE VENTING; CLEAN AND PREPARE ROOF SURFACE FOR CONSTRUCTION. TYPICAL ALL LOCATIONS.
- COMPLETELY REMOVE AND DISPOSE OF EXISTING PLUMBING BOOT / CURB / COLLAR / PENETRATION, ETC. DOCUMENT AND RECORD EXISTING EQUIPMENT PENETRATION FOR REPLACEMENT WITH LIKE PENETRATION IN ROOF; CLEAN AND PREP ROOF FOR CONSTRUCTION. TYPICAL ALL LOCATIONS.
- REMOVE & SALVAGE EXISTING MECHANICAL EQUIPMENT AND RETAIN FOR REINSTALLATION; COMPLETELY REMOVE AND DISPOSE OF EXISTING CURB / COLLAR / PENETRATION, ETC. DOCUMENT AND RECORD EXISTING EQUIPMENT PENETRATION FOR REPLACEMENT WITH LIKE PENETRATION IN ROOF; DOCUMENT AND RECORD GAS AND ELECTRICAL CONNECTIONS FOR REINSTALLATION. CLEAN AND PREP ROOF FOR CONSTRUCTION. TYPICAL ALL LOCATIONS.
- COMPLETELY REMOVE AND DISPOSE OF EXISTING CAPPED ROOF CURB / COLLAR / PENETRATION, ETC. CLEAN AND PREPARE ROOF SURFACE FOR NEW CONSTRUCTION. TYPICAL ALL LOCATIONS.
- REMOVE EXISTING SEALANT BETWEEN TOP OF FLASHING & BRICK / FLASHING TO FLASHING TRANSITION / FLASHING TO ROOF TRANSITION; CLEAN AND PREPARE SURFACE FOR NEW CONSTRUCTION. TYPICAL ALL LOCATIONS.
- REMOVE EXISTING SEALANT BETWEEN GUTTER TO DOWNSPOUT; CLEAN AND PREPARE SURFACE FOR NEW SEALANT INSTALLATION. TYPICAL ALL LOCATIONS.
- GRID HATCH: [] INDICATES THE PRELIMINARY AREAS WHERE EXISTING ACOUSTICAL CEILING SHOWS WATER DAMAGE, DEFORMATION, OR DISCOLORATION; REMOVE ACOUSTICAL CEILING TILE, QUANTITY AS REFERENCED IN UNIT PRICE SPECIFICATION; COORDINATE REPLACEMENT LOCATION WITH ARCHITECT OR OWNER ON-SITE REPRESENTATIVE.

STATE OF MISSOURI
 MICHAEL L. PARSON,
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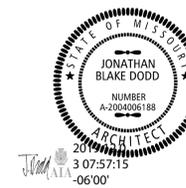
PROJECT # T1904-01
 SITE # 6278
 ASSET # 8136278002

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 DATE: _____
 ISSUE DATE: _____

CAD DWG FILE: AD-101
 DRAWN BY: JL
 CHECKED BY: JD
 DESIGNED BY: JD

SHEET TITLE:
 DEMOLITION
 ROOF PLANS

SHEET NUMBER:
 AD-101
 SHEET 2 OF 8 SHEETS
 12/02/2019



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DATE: _____
ISSUE DATE: _____

CAD DWG FILE: AD-201
DRAWN BY: JL
CHECKED BY: JD
DESIGNED BY: JD

SHEET TITLE:
DEMOLITION
EXTERIOR
ELEVATIONS

SHEET NUMBER:

AD-201

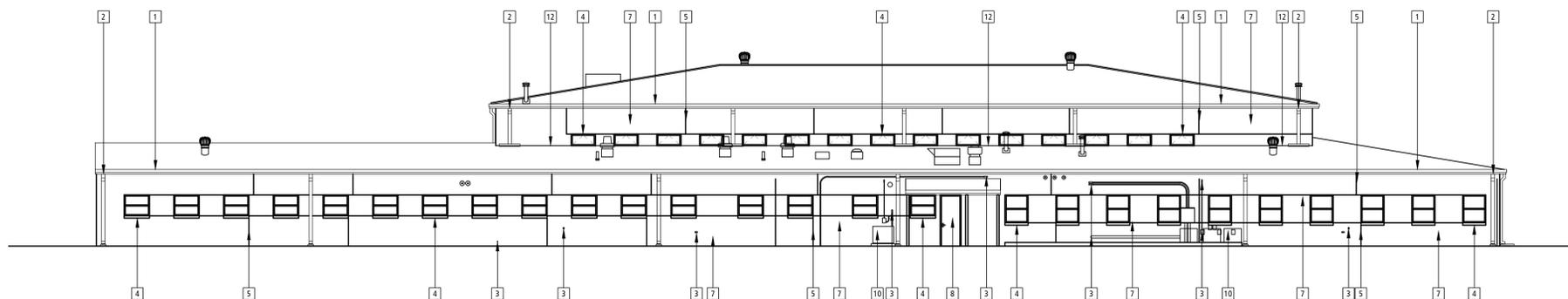
SHEET 3 OF 8 SHEETS
12/02/2019

DEMOLITION ELEVATION GENERAL NOTES

1. CLEAN ALL MASONRY WALLS, REMOVE DEBRIS, RUST, MOLD, PAINT, ETC.
2. REMOVE AND DISPOSE OF ALL EXISTING MASONRY WEEP VENT MATERIAL; CLEAN OUT OPENING; PREP FOR REPLACEMENT.
3. REMOVE ALL EXISTING SEALANT AT ALL TRANSITIONS BETWEEN PRE-FINISHED METAL GUTTERS AND PRE-FINISHED METAL DOWNSPOUTS; TYPICAL ALL LOCATIONS.
4. REMOVE ALL CRACKED, DETERIORATED, FALLING, OR PARTIALLY MISSING EXISTING BRICK MORTAR; CLEAN JOINT WHERE ANY MISSING MORTAR HAS OCCURRED; REFER TO UNIT PRICE SPECIFICATION; TYPICAL ALL LOCATIONS.
5. REMOVE ALL LOOSE BRICKS, GRIND AND OR HAMMER OUT, CLEAN OPENING, REMOVE AND PREP FOR NEW BRICK INSTALLATION; REFER TO UNIT PRICE SPECIFICATION.

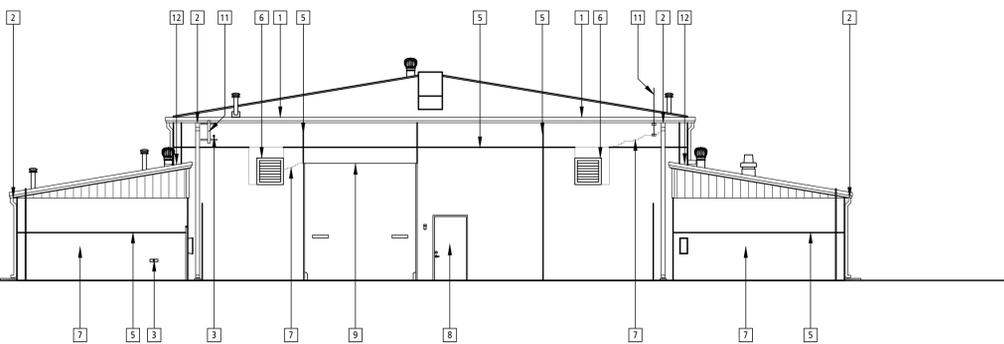
DEMOLITION ELEVATION KEYNOTES

- 1] REMOVE ALL DEBRIS AND CLEAN ALL GUTTERS AND DOWNSPOUTS; TYPICAL ALL LOCATIONS.
- 2] COMPLETELY REMOVE AND DISPOSE OF SEALANT BETWEEN GUTTER AND DOWNSPOUT; TYPICAL ALL LOCATIONS.
- 3] COMPLETELY REMOVE AND DISPOSE OF EXISTING SEALANT & BACKER ROD AT EXTERIOR WALL PENETRATION; CLEAN AND PREP OPENING AND JOINT FOR REPLACEMENT; TYPICAL ALL LOCATIONS.
- 4] COMPLETELY REMOVE AND DISPOSE OF EXISTING SEALANT & BACKER ROD AROUND EXTERIOR WINDOW PERIMETER AND BELOW STONE MASONRY WINDOW SILL; CLEAN JOINT AND PREP FOR REPLACEMENT; REMOVE ANY EXISTING WEEPS; CLEAN OPENING; AND PREP FOR REPLACEMENT; TYPICAL ALL LOCATIONS.
- 5] COMPLETELY REMOVE AND DISPOSE OF EXISTING SEALANT & BACKER ROD AT ALL HORIZONTAL AND VERTICAL CONTROL JOINTS IN MASONRY; THOROUGHLY CLEAN JOINT AND PREP FOR REPLACEMENT; TYPICAL ALL LOCATIONS.
- 6] COMPLETELY REMOVE AND DISPOSE OF EXISTING SEALANT & BACKER ROD AT EXTERIOR GRILLE / LOUVER / FAN TO WALL CONNECTIONS; THOROUGHLY CLEAN JOINT AND PREP FOR REPLACEMENT; TYPICAL ALL LOCATIONS.
- 7] REFER TO GENERAL NOTE #1, #4, & #5 ON ALL EXTERIOR MASONRY.
- 8] COMPLETELY REMOVE AND DISPOSE OF EXISTING SEALANT & BACKER ROD OR DETERIORATED MOTOR JOINT AT EXTERIOR DOOR TO WALL CONNECTIONS; THOROUGHLY CLEAN JOINT AND PREP FOR REPLACEMENT; REMOVE ANY LOOSE OR PEELING PAINT AT HEAD OR JAMB OR ADJACENT STEEL; REMOVE, CLEAN, AND RETAIN THRESHOLD FOR REINSTALLATION; TYPICAL ALL EXTERIOR DOOR LOCATIONS.
- 9] AT OVERHEAD DOOR; REMOVE RUST & LOOSE PAINT AT DOOR HEADED, JAMB, AND CORNER GUARDS. COMPLETELY REMOVE AND DISPOSE OF EXISTING SEALANT & BACKER ROD OR DETERIORATED MOTOR JOINT AT JAMB; CLEAN AND PREP FOR INSTALLATION OF NEW.
- 10] COMPLETELY REMOVE AND DISPOSE OF EXISTING REFRIGERENT LINE INSULATION WRAP; CLEAN AND PREP FOR INSTALLATION OF NEW; TYPICAL ALL LOCATIONS.
- 11] COMPLETELY REMOVE AND DISPOSE OF EXISTING SUPPORT.
- 12] COMPLETELY REMOVE AND DISPOSE OF EXISTING SEALANT AND BACKER ROD AT ROOF FLASHING TO MASONRY TRANSITION AND AT FLASHING TO FLASHING OVERLAP AND END OR CORNER TRANSITIONS; CLEAN PRE-FINISHED FLASHING IN PREPARATION FOR REPLACEMENT; TYPICAL ALL LOCATIONS.



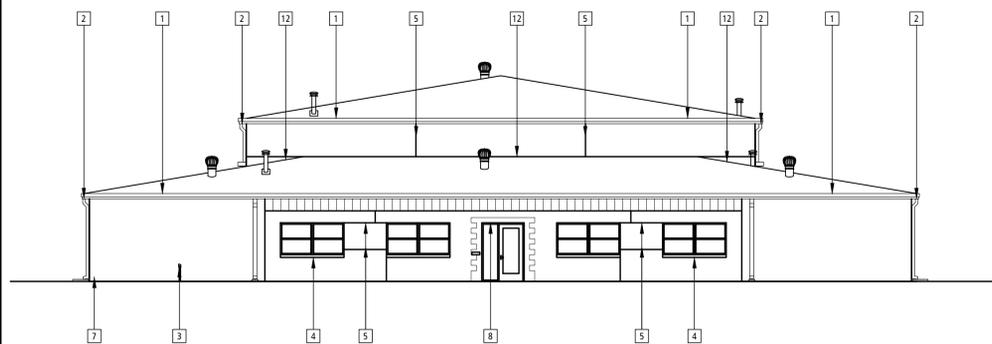
DEMOLITION NORTH ELEVATION 4

SCALE: 3/32" = 1'-0" AD-201



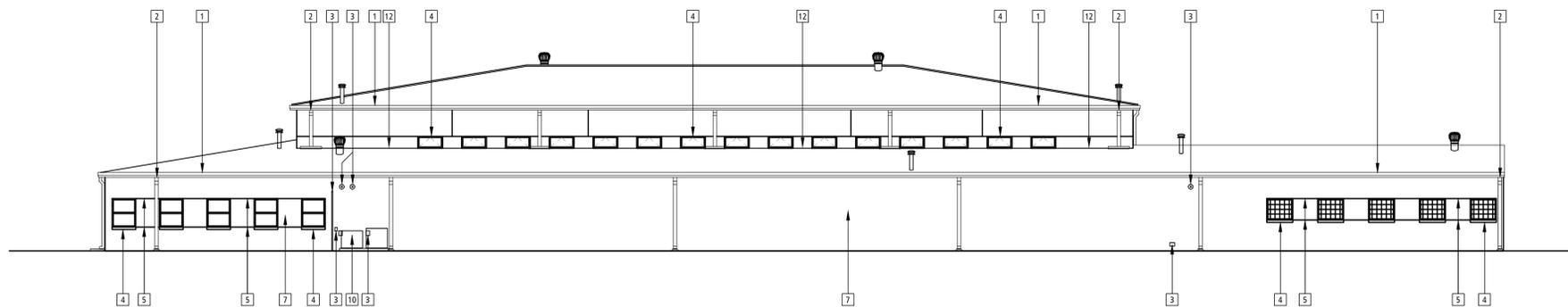
DEMOLITION EAST ELEVATION 3

SCALE: 3/32" = 1'-0" AD-201



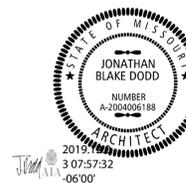
DEMOLITION WEST ELEVATION 2

SCALE: 3/32" = 1'-0" AD-201



DEMOLITION SOUTH ELEVATION 1

SCALE: 3/32" = 1'-0" AD-201



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ASSET # 8136278002

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CAD DWG FILE: AD-202
DRAWN BY: JL
CHECKED BY: JD
DESIGNED BY: JD

SHEET TITLE:
DEMOLITION
EXTERIOR
ELEVATIONS

SHEET NUMBER:

AD-202

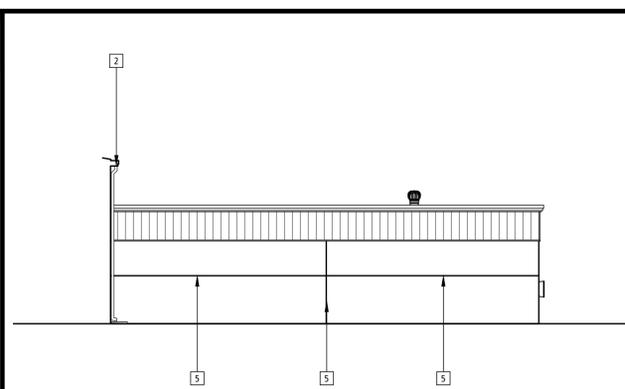
SHEET 4 OF 8 SHEETS
12/02/2019

DEMOLITION ELEVATION GENERAL NOTES

1. CLEAN ALL MASONRY WALLS, REMOVE DEBRIS, RUST, MOLD, PAINT, ETC.
2. REMOVE AND DISPOSE OF ALL EXISTING MASONRY WEEP VENT MATERIAL; CLEAN OUT OPENING; PREP FOR REPLACEMENT.
3. REMOVE ALL EXISTING SEALANT AT ALL TRANSITIONS BETWEEN PRE-FINISHED METAL GUTTERS AND PRE-FINISHED METAL DOWNSPOUTS; TYPICAL ALL LOCATIONS.
4. REMOVE ALL CRACKED, DETERIORATED, FALLING, OR PARTIALLY MISSING EXISTING BRICK MORTAR. CLEAN JOINT WHERE ANY MISSING MORTAR HAS OCCURRED; REFER TO UNIT PRICE SPECIFICATION; TYPICAL ALL LOCATIONS.
5. REMOVE ALL LOOSE BRICKS, GRIND AND OR HAMMER OUT, CLEAN OPENING, REMOVE AND PREP FOR NEW BRICK INSTALLATION. REFER TO UNIT PRICE SPECIFICATION.

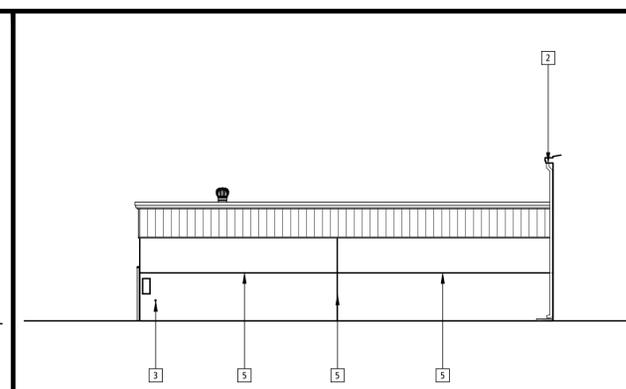
DEMOLITION ELEVATION KEYNOTES

- 1 REMOVE ALL DEBRIS AND CLEAN ALL GUTTERS AND DOWNSPOUTS; TYPICAL ALL LOCATIONS.
- 2 COMPLETELY REMOVE AND DISPOSE OF SEALANT BETWEEN GUTTER AND DOWNSPOUT; TYPICAL ALL LOCATIONS.
- 3 COMPLETELY REMOVE AND DISPOSE OF EXISTING SEALANT & BACKER ROD AT EXTERIOR WALL PENETRATION; CLEAN AND PREP OPENING AND JOINT FOR REPLACEMENT; TYPICAL ALL LOCATIONS.
- 4 COMPLETELY REMOVE AND DISPOSE OF EXISTING SEALANT & BACKER ROD AROUND EXTERIOR WINDOW PERIMETER AND BELOW STONE MASONRY WINDOW SILL; CLEAN JOINT AND PREP FOR REPLACEMENT; REMOVE ANY EXISTING WEEPS; CLEAN OPENING; AND PREP FOR REPLACEMENT; TYPICAL ALL LOCATIONS.
- 5 COMPLETELY REMOVE AND DISPOSE OF EXISTING SEALANT & BACKER ROD AT ALL HORIZONTAL AND VERTICAL CONTROL JOINTS IN MASONRY; THOROUGHLY CLEAN JOINT AND PREP FOR REPLACEMENT; TYPICAL ALL LOCATIONS.
- 6 COMPLETELY REMOVE AND DISPOSE OF EXISTING SEALANT & BACKER ROD AT EXTERIOR GRILLE / LOUVER / FAN TO WALL CONNECTIONS; THOROUGHLY CLEAN JOINT AND PREP FOR REPLACEMENT; TYPICAL ALL LOCATIONS.
- 7 REFER TO GENERAL NOTE #1, #4, & #5 ON ALL EXTERIOR MASONRY.
- 8 COMPLETELY REMOVE AND DISPOSE OF EXISTING SEALANT & BACKER ROD OR DETERIORATED MOTOR JOINT AT EXTERIOR DOOR TO WALL CONNECTIONS; THOROUGHLY CLEAN JOINT AND PREP FOR REPLACEMENT; REMOVE ANY LOOSE OR PEELING PAINT AT HEAD OR JAMB OR ADJACENT STEEL; REMOVE, CLEAN, AND RETAIN THRESHOLD FOR REINSTALLATION; TYPICAL ALL EXTERIOR DOOR LOCATIONS.
- 9 AT OVERHEAD DOOR; REMOVE RUST & LOOSE PAINT AT DOOR HEADED, JAMB, AND CORNER GUARDS. COMPLETELY REMOVE AND DISPOSE OF EXISTING SEALANT & BACKER ROD OR DETERIORATED MOTOR JOINT AT JAMB; CLEAN AND PREP FOR INSTALLATION OF NEW.
- 10 COMPLETELY REMOVE AND DISPOSE OF EXISTING REFRIGERENT LINE INSULATION WRAP; CLEAN AND PREP FOR INSTALLATION OF NEW; TYPICAL ALL LOCATIONS.
- 11 COMPLETELY REMOVE AND DISPOSE OF EXISTING SUPPORT.
- 12 COMPLETELY REMOVE AND DISPOSE OF EXISTING SEALANT AND BACKER ROD AT ROOF FLASHING TO MASONRY TRANSITION AND AT FLASHING TO FLASHING OVERLAP AND END OR CORNER TRANSITIONS; CLEAN PRE-FINISHED FLASHING IN PREPARATION FOR REPLACEMENT; TYPICAL ALL LOCATIONS.



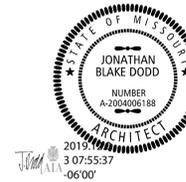
DEMOLITION INTERIOR NORTH ELEVATION 2

SCALE: 3/32" = 1'-0" AD-202



DEMOLITION INTERIOR SOUTH ELEVATION 1

SCALE: 3/32" = 1'-0" AD-202



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CAD DWG FILE: A-101
DRAWN BY: JL
CHECKED BY: JD
DESIGNED BY: JD

SHEET TITLE:
ROOF PLANS

SHEET NUMBER:

A-101

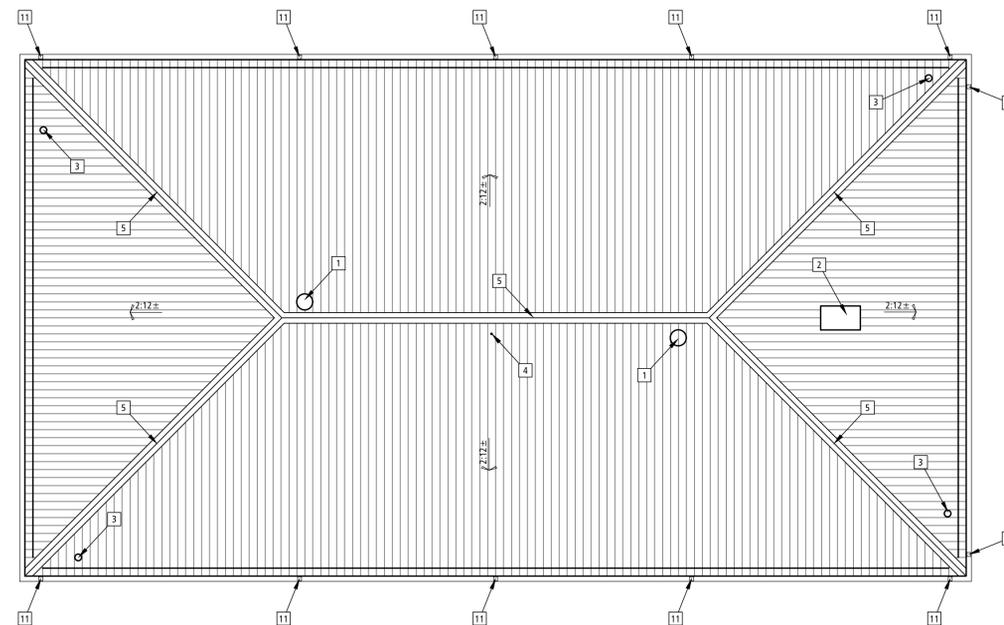
SHEET 5 OF 8 SHEETS
12/02/2019

GENERAL NOTES

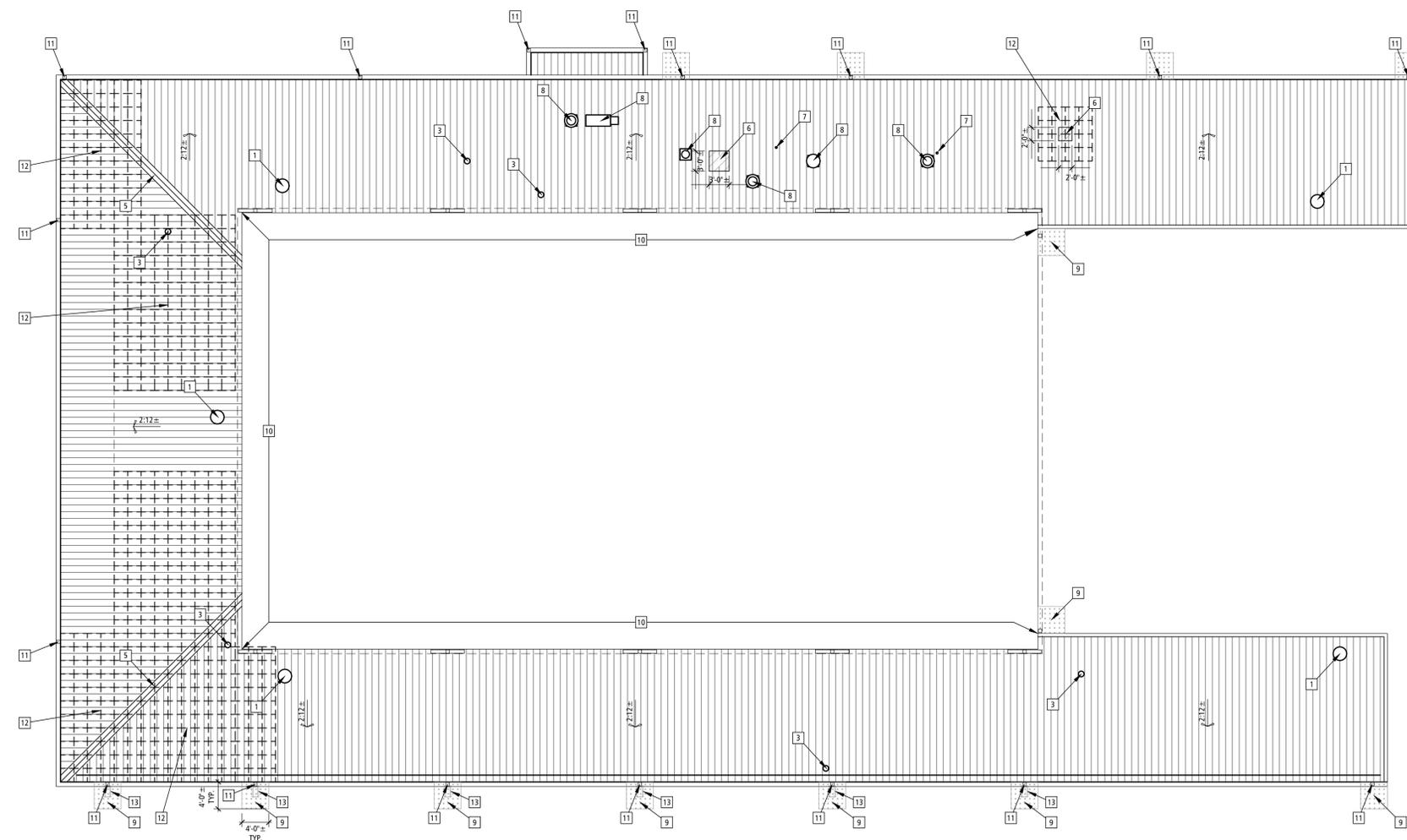
1. ALL WIND LOAD DESIGN CRITERIA PER 2018 IBC
2. REFER TO CURRENT SMACNA ARCHITECTURAL MANUAL FOR TYPICAL PENETRATIONS AND ADDITIONAL REQUIREMENTS AND TYPICAL INSTALLATIONS.
3. ALL ROUND PIPES SHALL RECEIVE STAINLESS STEEL CLAMPS
4. TYPICAL ALL BASE FLANGE SHALL BE SET IN CONTINUOUS SEALANT, WITH COMPATIBLE FASTENERS, FREQUENCY PER WIND LOAD AND MANUFACTURES RECOMMENDATIONS.
5. GRID HATCH: [---] INDICATES THE PRELIMINARY AREAS FOR ACOUSTICAL CEILING REPLACEMENT, QUANTITY AS REFERENCED IN UNIT PRICE SPECIFICATION. COORDINATE FINAL CEILING TILE REPLACEMENT LOCATION WITH ARCHITECT OR OWNER ON-SITE REPRESENTATIVE.

ROOF PLAN KEYNOTES

1. PROVIDE AND INSTALL PRE-FINISHED (COLOR TO MATCH EXISTING ROOF SYSTEM) WIND TURBINE / CURB / COLLAR / CRICKET / PENETRATION, SEALANT, ETC. FULLY SEAT TURBINE FLANGE IN SILICONE SEALANT. REFER TO MANUFACTURES TYPICAL WIND TURBINE INSULATION INSTRUCTIONS AND REQUIREMENTS FOR FASTENERS AND FREQUENCY. SIMILAR TO 2/A-501.
2. CLEAN METAL ROOF HATCH, REMOVE ALL OIL, GREASE, DIRT, LOOSE PAINT, OR OTHER FOREIGN SUBSTANCE. PRIME METAL WITH SYNTHETIC RUST INHIBITING PRIMER. PAINT ROOF HATCH WITH MIN. FIRST COAT URETHANE ALKYD, COLOR TO MATCH EXISTING. SECOND AND THIRD COAT URETHANE ALKYD GLOSS ENAMEL; COLOR TO MATCH EXISTING.
3. PROVIDE AND INSTALL GALVANIZED GAS FLUE VENT PIPING / CURB / COLLAR / CRICKET / ETC. SIZED TO MATCH EXISTING PIPE. TYPICAL ALL LOCATIONS. REFER TO 1/A-501.
4. PROVIDE AND INSTALL EXTERIOR RATED RIGID CONDUIT / CURB / COLLAR / PENETRATION; TYPICAL ALL LOCATIONS. REFER TO 1/A-501.
5. PROVIDE AND INSTALL RIDGE CAPS, 2" CLOSURE CLIPS, SEALANT, Baffle MATERIAL, CLOSURE STRIP, BUTYL TAPE, RIDGE CAP CUSTOM COLOR TO MATCH ROOF PANEL.
6. PROVIDE AND INSTALL METAL PANEL PATCH; PROFILE TO MATCH EXISTING PANEL; EXTEND METAL ROOF PANEL FROM NATURAL SEAM TO NATURAL SEAM; PROVIDE CONTINUOUS PERIMETER SEALANT; CUSTOM COLOR TO MATCH EXISTING; REWORK INTERIOR EXISTING VINYL FACED INSULATION FOR CONTINUOUS COVERAGE.
7. PROVIDE AND INSTALL PLUMBING BOOT / CURB / COLLAR / CRICKET, ETC. SIZED TO MATCH EXISTING PIPING; TYPICAL ALL LOCATIONS. REFER TO 1/A-501.
8. PROVIDE AND INSTALL ALL WELDED METAL CURB. CURB SHOULD BE PROVIDED WITH MIN. 14 GAGE CRICKET / DEFLECTOR PLATE, RUBBER GASKETS, WITH MIN. 1/2" RIGID INSULATION; CURB SIZED PER EXISTING EQUIPMENT; MIN. HEIGHT 12" PANEL RIB PROFILE SHALL EXTEND TO THE NEXT NATURAL SEAM; TYPICAL ALL LOCATIONS. REFER TO 2/A-501.
9. REVISE GRADE AS REQUIRED SUCH THAT ALL CONCRETE SPLASH BLOCK HAS MIN 1:12 SLOPE AWAY FROM BUILDING; MAX GRADE SLOPE AWAY FROM SPLASH BLOCK SHALL BE 1:5; PROVIDE SOIL, SEED, ETC. TO ESTABLISH GROUND COVER AS REQUIRED TO PREVENT SOIL EROSION.
10. PROVIDE AND INSTALL SEALANT BETWEEN TOP OF FLASHING & BRICK / FLASHING AND FLASHING TO ROOF TRANSITION. TYPICAL ALL LOCATIONS.
11. PROVIDE AND INSTALL SEALANT BETWEEN GUTTER TO DOWNSPOUT, TYPICAL ALL LOCATIONS.
12. GRID HATCH: [---] INDICATES THE PRELIMINARY AREAS FOR REPLACEMENT WITH ACOUSTICAL CEILING TILE; TILE COLOR, PATTERN, AND PROFILE TO MATCH ADJACENT TILE; SIMILAR TO FINE FIGURED; QUANTITY AS REFERENCED IN UNIT PRICE SPECIFICATION; COORDINATE REPLACEMENT LOCATION WITH ARCHITECT OR OWNER ON-SITE REPRESENTATIVE.
13. PROVIDE AND INSTALL CAST CONCRETE SPLASH BLOCK



UPPER ROOF PLAN 2
SCALE: 3/32" = 1'-0" A-101



LOWER ROOF PLAN 1
SCALE: 3/32" = 1'-0" A-101

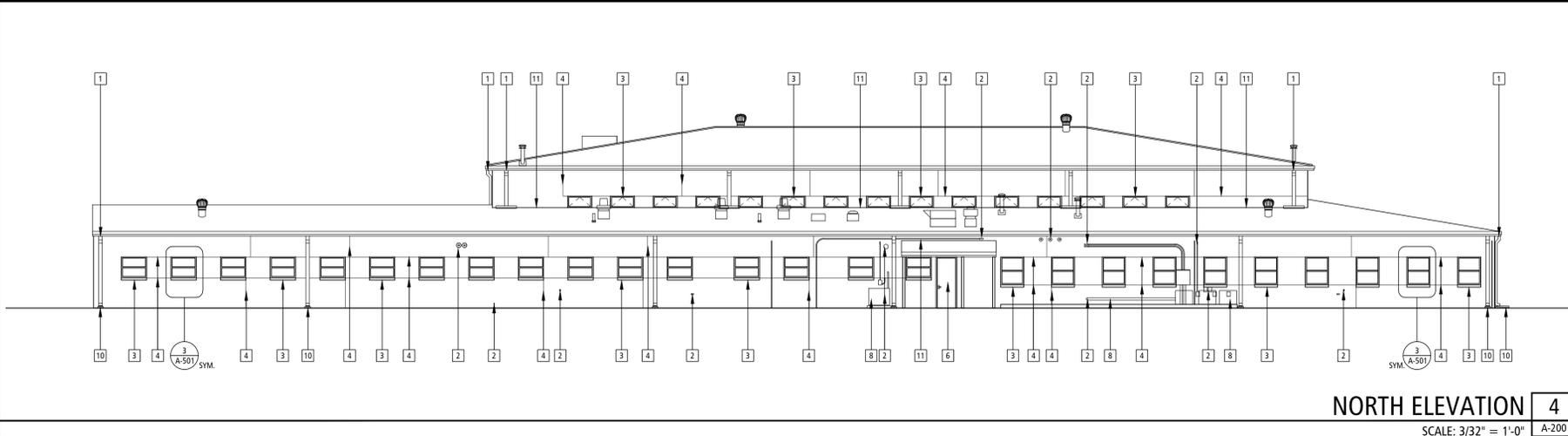


ELEVATION GENERAL NOTES

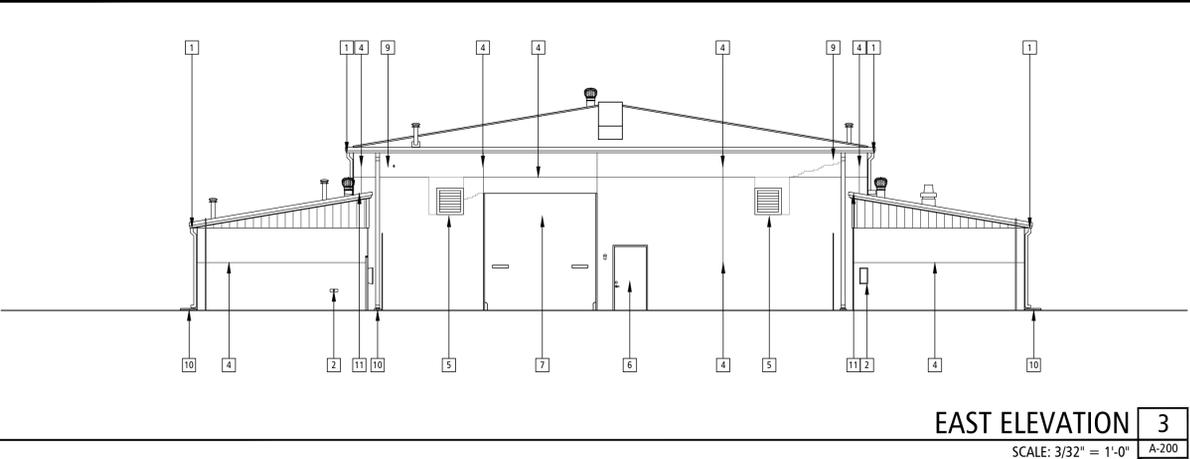
1. REPLACE ALL EXISTING MASONRY WEEP VENT MATERIAL; WITH 90% OPEN WEAVE POLYESTER MESH VENT MATERIAL; COLOR AS SELECTED FROM MANUFACTURES FULL RANGE OF COLORS; SIZE AS REQUIRED FOR OPENINGS; TYPICAL ALL WEEP LOCATIONS.
2. INSTALL SEALANT AT ALL TRANSITIONS BETWEEN PRE-FINISHED METAL GUTTERS AND PRE-FINISHED METAL LEADERS; SEALANT COLOR TO MATCH EXISTING FINISH ON PRE-FINISHED METAL.
3. BRUSH OR USE HIGH PRESSURE AIR AND PREP ALL AREAS WHERE BRICK MORTAR WAS REMOVED. PROVIDE AND INSTALL NEW BRICK MORTAR; COLOR TO MATCH EXISTING COLOR; VERIFY COLOR WITH ARCHITECT; RE-POINT JOINT WITH COMPACT CONCAVE STRAIGHT LINES CENTERED BETWEEN BRICKS.
4. REPOINT ALL REMOVED DETERIORATED, FALLING, OR PARTIALLY MISSING EXTERIOR MASONRY. ELIMINATE ALL VOIDS, BRUSH OR USE HIGH PRESSURE AIR AND PREP ALL AREAS WHERE BRICK MORTAR WAS REMOVED. PROVIDE AND INSTALL NEW BRICK MORTAR; RE-POINT JOINT WITH COMPACT CONCAVE STRAIGHT LINES CENTERED BETWEEN BRICKS. COMPACT MORTAR, AND REMOVE ANY EXCESS MORTAR OR DRY MORTAR CRUMBS. COLOR TO MATCH EXISTING COLOR; VERIFY COLOR WITH ARCHITECT; REFER TO UNIT PRICE SPECIFICATION.
5. APPLY WEATHER SEAL PROTECTIVE TREATMENT TO ALL EXTERIOR MASONRY. TREATMENT MUST ALLOW MASONRY WALL TO "BREATHE"
6. REFER TO CURRENT SMACNA ARCHITECTURAL MANUAL FOR TYPICAL PENETRATIONS AND ADDITIONAL REQUIREMENTS.

ELEVATION KEYNOTES

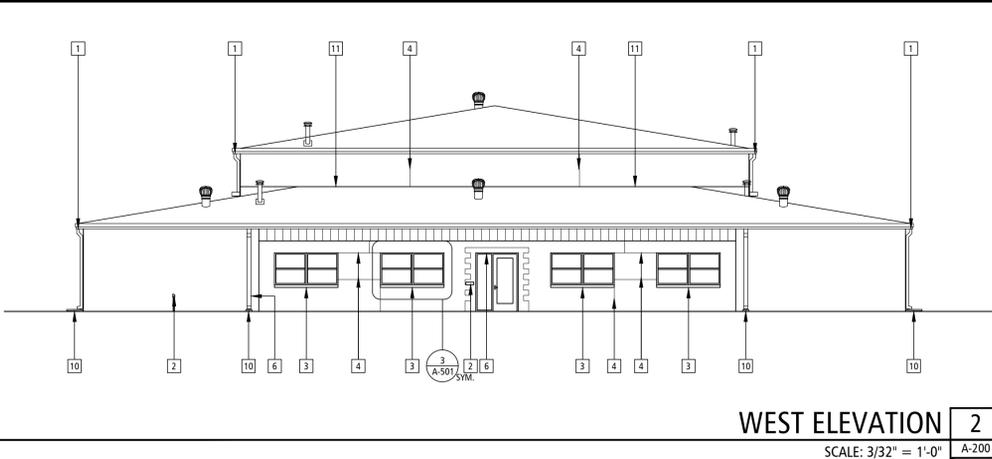
1. PROVIDE AND INSTALL PRE FINISHED METAL DOWNSPOUT; INSTALL SEALANT BETWEEN GUTTER AND DOWNSPOUT; SEALANT COLOR AS SELECTED FROM MANUFACTURES STANDARD COLORS; METAL DOWNSPOUT COLOR TO MATCH EXISTING; ANCHOR TO EXISTING MASONRY.
2. PROVIDE AND INSTALL SEALANT AND BACKER ROD AT EXTERIOR WALL PENETRATION; BACKER ROD TO BE SIZED PER MANUFACTURES INSTALLATION CHART OR MINIMUM 25 TO 30% LARGER THAN DIAMETER OF JOINT WIDTH; SEALANT COLOR AS SELECTED FROM MANUFACTURES STANDARD COLORS; TYPICAL ALL LOCATIONS.
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7. PROVIDE AND INSTALL OVERHEAD DOOR SILL SEAL, JAMB SEAL, AND HEAD GASKET SWEEP, COLOR INTENT TO MATCH EXISTING OR AS SELECTED FROM MANUFACTURES STANDARD COLORS; CLEAN EXISTING STEEL LINTEL, STEEL JAMBS, STEEL CORNER GUARDS, REMOVE ALL OIL, GREASE, DIRT, LOOSE PAINT, OR OTHER FOREIGN SUBSTANCE. PRIME METALS WITH SYNTHETIC RUST INHIBITING PRIMER, PAINT WITH MIN. FIRST COAT URETHANE ALKID; PAINT COLOR TO MATCH EXISTING. SECOND AND THIRD COAT URETHANE ALKID GLOSS ENAMEL; PAINT COLOR TO MATCH EXISTING; PROVIDE AND INSTALL SEALANT & BACKER ROD BETWEEN STEEL JAMB AND MASONRY; SEALANT COLOR AS SELECTED FROM MANUFACTURES STANDARD COLORS; TYPICAL ALL LOCATIONS.
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9. FILL ALL ANCHOR HOLE FROM REMOVED BRACKET
10. REVISE GRADE AS REQUIRED SUCH THAT ALL CONCRETE SPLASH BLOCK HAS MIN 1:12 SLOPE AWAY FROM BUILDING; MAX GRADE SLOPE AWAY FROM SLASH BLOCK SHALL BE 1:5; PROVIDE ROCK, SOIL, SEED, ETC TO ESTABLISH GROUND COVER OR MATCH ADJACENT AS REQUIRED TO PREVENT SOIL EROSION. TYPICAL ALL LOCATIONS.
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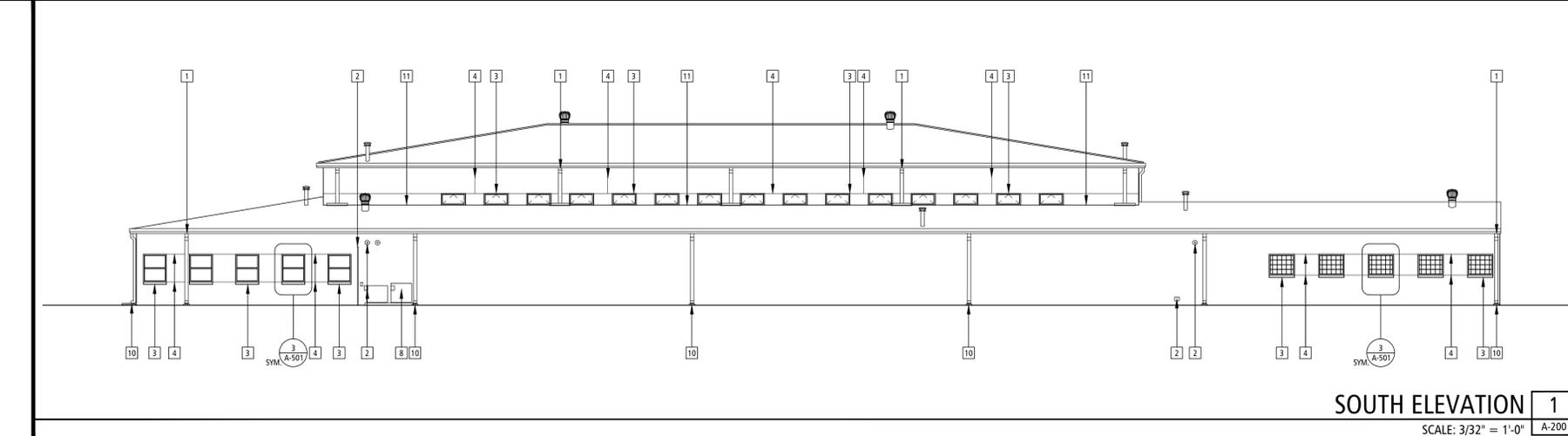
NORTH ELEVATION 4
SCALE: 3/32" = 1'-0"
A-200



EAST ELEVATION 3
SCALE: 3/32" = 1'-0"
A-200



WEST ELEVATION 2
SCALE: 3/32" = 1'-0"
A-200



SOUTH ELEVATION 1
SCALE: 3/32" = 1'-0"
A-200

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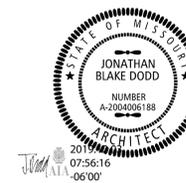
PROJECT # T1904-01
SITE # 6278
ASSET # 8136278002

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DATE: _____
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DATE: _____
REVISION: _____
DATE: _____
ISSUE DATE: _____

CAD DWG FILE: A-201
DRAWN BY: JL
CHECKED BY: JD
DESIGNED BY: JD

SHEET TITLE:
**EXTERIOR
ELEVATIONS**

SHEET NUMBER:
A-201
SHEET 6 OF 8 SHEETS
12/02/2019



ELEVATION GENERAL NOTES

1. REPLACE ALL EXISTING MASONRY WEEP VENT MATERIAL; WITH 90% OPEN WEAVE POLYESTER MESH VENT MATERIAL; COLOR AS SELECTED FROM MANUFACTURES FULL RANGE OF COLORS; SIZE AS REQUIRED FOR OPENINGS; TYPICAL ALL WEEP LOCATIONS.
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RENOVATE ROOF SYSTEM

LAMAR READINESS CENTER
106 BROADWAY STREET
LAMAR, MO 64759

PROJECT # T1904-01
SITE # 6278
ASSET # 8136278002

REVISION: _____
DATE: _____
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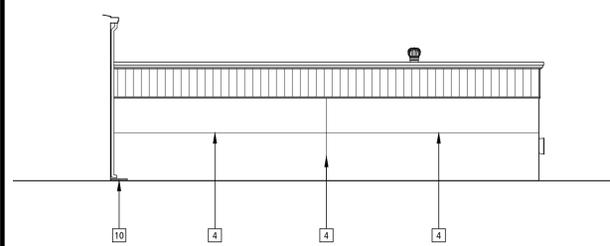
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DRAWN BY: JL
CHECKED BY: JD
DESIGNED BY: JD

SHEET TITLE:
EXTERIOR
ELEVATIONS

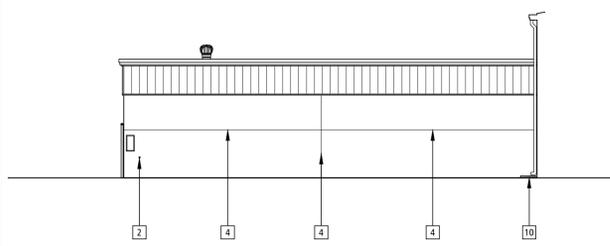
SHEET NUMBER:

A-202

SHEET 7 OF 8 SHEETS
12/02/2019



INTERIOR NORTH ELEVATION **2**
SCALE: 3/32" = 1'-0" A-202



INTERIOR SOUTH ELEVATION **1**
SCALE: 3/32" = 1'-0" A-202

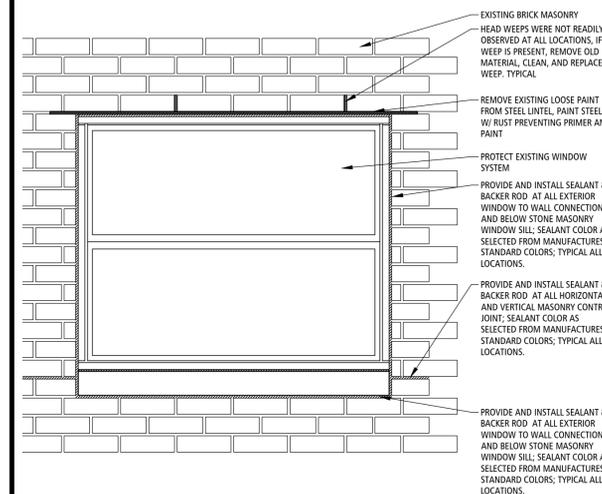


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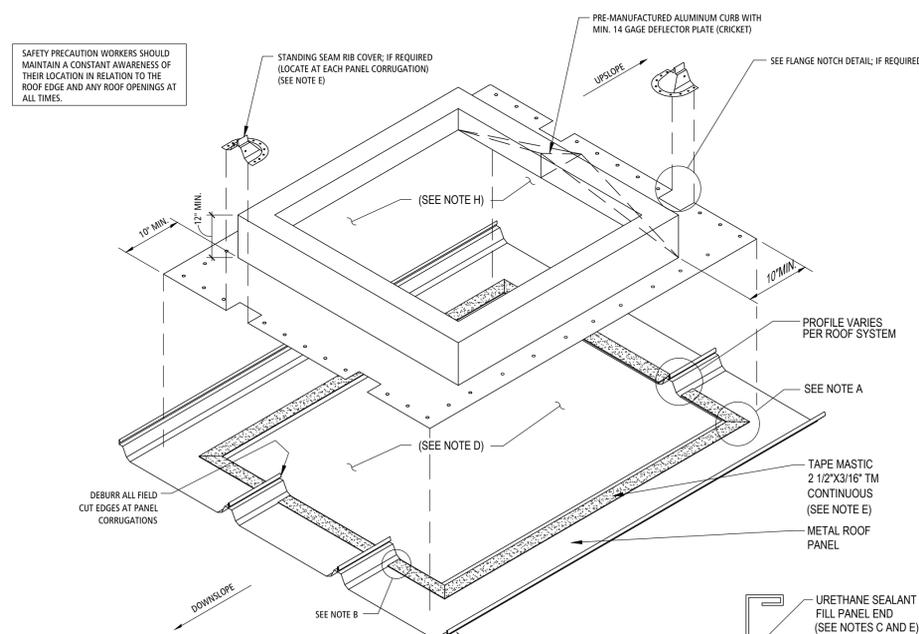
BUXTON KUBIK DODD
DESIGN COLLECTIVE

3100 S. NATIONAL AVENUE, SUITE 300
SPRINGFIELD, MO 65807
PHONE: 417.890.5543 FAX: 417.890.5563
MISSOURI CERTIFICATE OF AUTHORITY NO. A-2009027284

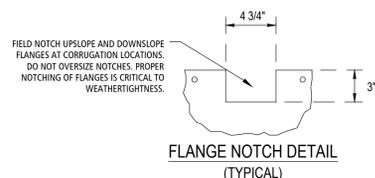
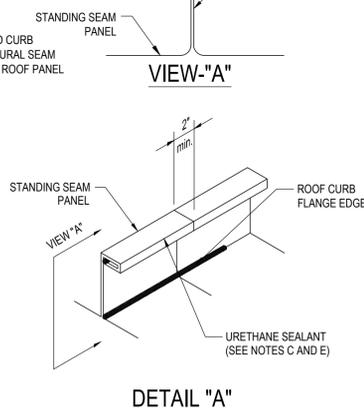


TYPICAL EXTERIOR WINDOW SEALANT DETAIL 3

SCALE: 1"=1'-0" A-501



- NOTES:
- CUT (DO NOT TEAR) TAPE MASTIC AT A 45° ANGLE AT CORNERS.
 - CUT (DO NOT TEAR) TAPE MASTIC AT PANEL CORRUGATIONS.
 - DO NOT USE STANDING SEAM SEALANT IN LIEU OF URETHANE SEALANT.
 - EXISTING ROOF CURB SUB-FRAMING AND STRUCTURE TO REMAIN, EXCEPT DISASSEMBLE AND REASSEMBLE AS REQUIRED FOR NEW ROOF CURB. INSULATION OMITTED FOR CLARITY.
 - INDICATED SEALANT, MASTIC, RIB COVERS IF REQUIRED BY ROOF SYSTEM, AND FASTENERS ARE PRE-PACKAGED WITH THE ROOF CURBS.
 - AIR CONDITIONER DRAINS SHOULD BE FABRICATED FROM PLASTIC PIPE OF SUITABLE DIAMETER AND EXTENDED AT LEAST TO THE RAIN GUTTER, AND PREFERABLY WELL PAST THE GUTTER. DRAIN WATER FROM AIR CONDITIONERS CONTAINS DISSOLVED COPPER FROM THE CONDENSATION COILS THAT CAN CAUSE RUSTING OF ALUMINUM COATED SHEET PANELS IN A VERY SHORT TIME.
 - WHEN FIELD CUTTING PANELS OR TRIM DO NOT USE ABRASIVE SAWS OR OTHER CUTTING METHODS WHICH PRODUCE HOT METAL PARTICLES AND OR BURN THE CUT EDGES. THESE METHODS WILL DAMAGE THE PAINTED AND ALUMINUM COATED FINISH AND VOID ANY WARRANTIES. USE DOUBLE CUT SHEARS, NIBBLERS OR OTHER CUTTING DEVICES WHICH DO NOT PRODUCE HOT METAL PARTICLES OR BURNED EDGES.
 - INSTALL SALVAGED MECHANICAL EQUIPMENT. CONNECT ANY EXISTING MEP SYSTEMS



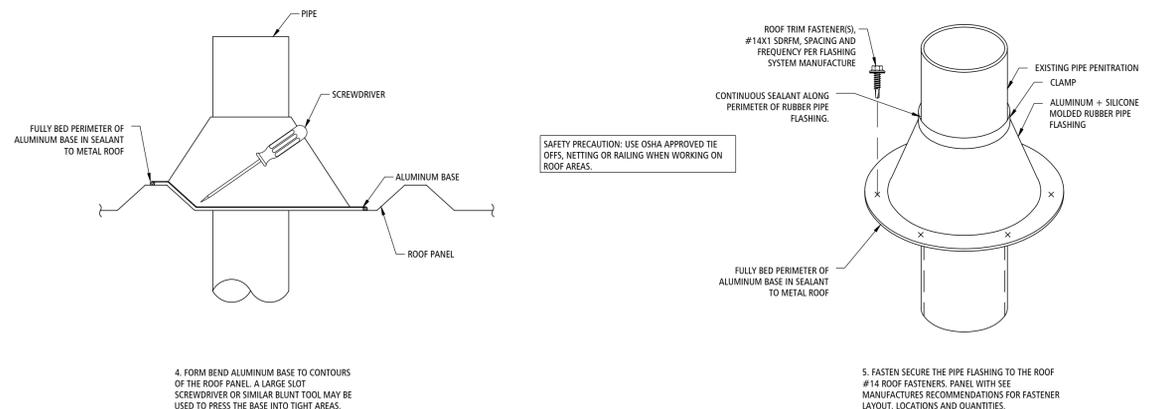
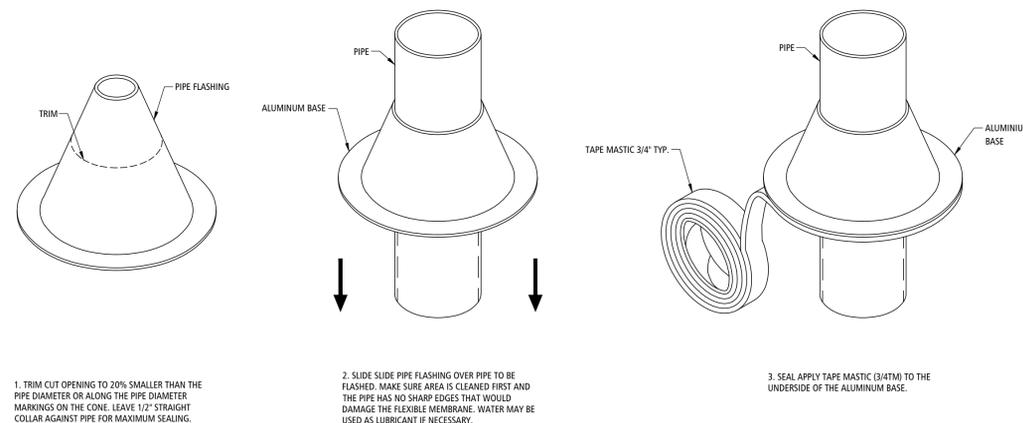
INSTALLATION PROCEDURES

- INSTALL ROOF CURB SUB-FRAMING AT THE DESIRED LOCATION FOR STRUCTURAL CURB SIZE.
- THE STANDING SEAM ROOF IS TO BE INSTALLED AND SEAMED PRIOR TO THE ROOF CURB INSTALLATION.
- CUT THE OPENING FOR THE CURB IN THE ROOF PANELS, UNLESS NOTED OTHERWISE, ROUGH OPENING CUT-OUT SIZE EQUALS OUTER CURB LENGTH/WIDTH.
- INSTALL BACKER CHANNELS UNDER EDGE OF ROOF PANEL. (FIELD NOTCH AS REQUIRED BEFORE PLACING UNDER EDGE OF ROOF PANEL.)
- MARK THE PANEL CORRUGATION LOCATIONS ON THE UPSLOPE AND DOWNSLOPE CURB FLANGES AND NOTCH AS SHOWN ABOVE. (DO NOT OVERSIZE NOTCH.)
- "DRY FIT" THE CURB OVER THE OPENING AND MARK THE OUTER FLANGE LINE WITH A MARKER. REMOVE CURB.
- APPLY THE TAPE MASTIC AS OUTLINED IN THE DETAILS.
- PLACE THE CURB OVER THE OPENING AND ATTACH WITH #12X1 1/4 ROOF FASTENERS IN THE PRE-DRILLED FLANGE HOLES. DO NOT INSTALL 1/2" FASTENERS WITHIN RECOMMENDED OF PANEL CORRUGATIONS. DO NOT ATTACH CURB TO SUB FRAMING.
- SEALANT THE PANEL SEAMS AS SHOWN IN DETAIL.
- SEALANT THE FLANGE AND INSIDE FACES OF THE STANDING SEAM RIB COVER WITH (2) 1/4" BEADS OF URETHANE SEALANT WITH HOLES OF RIB COVER LOCATED BETWEEN SEALANTING BEADS. PLACE THE RIB COVERS OVER PANEL ENDS AND ATTACH WITH THE ROOF FASTENERS AS SHOWN IN THE DETAIL.
- TOOL ALL EXPOSED SEALANTING TO ALLOW FOR PROPER DRAINAGE. REMOVE ALL METAL SHAVINGS FROM CURB AREA.

- DO NOT ATTACH CURB OR BACKER CHANNEL TO SIDE CHANNELS OR PURLINS
- BACKER CHANNELS: - FIELD NOTCHING OF BACKER CHANNELS AT CURB SIDE CHANNELS AND PURLINS MAY BE REQUIRED. (SEE C83394A) - DO NOT FASTEN OR ATTACH BACKER CHANNELS TO CURB SUB-FRAMING. - ALL BACKER PARTS ARE TO FLOAT.

ROOF CURB INSTALLATION DETAIL 2

SCALE: NTS A-501



SAFETY PRECAUTION: USE OSHA APPROVED TIE OFFS, NETTING OR RAILING WHEN WORKING ON ROOF AREAS.

ROOF SLEEVE FLASHING DETAIL 1

SCALE: NTS A-501

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CAD DWG FILE: A-501
DRAWN BY: JL
CHECKED BY: JD
DESIGNED BY: JD

SHEET TITLE:
DETAILS

SHEET NUMBER:

A-501

SHEET 8 OF 8 SHEETS
12/02/2019