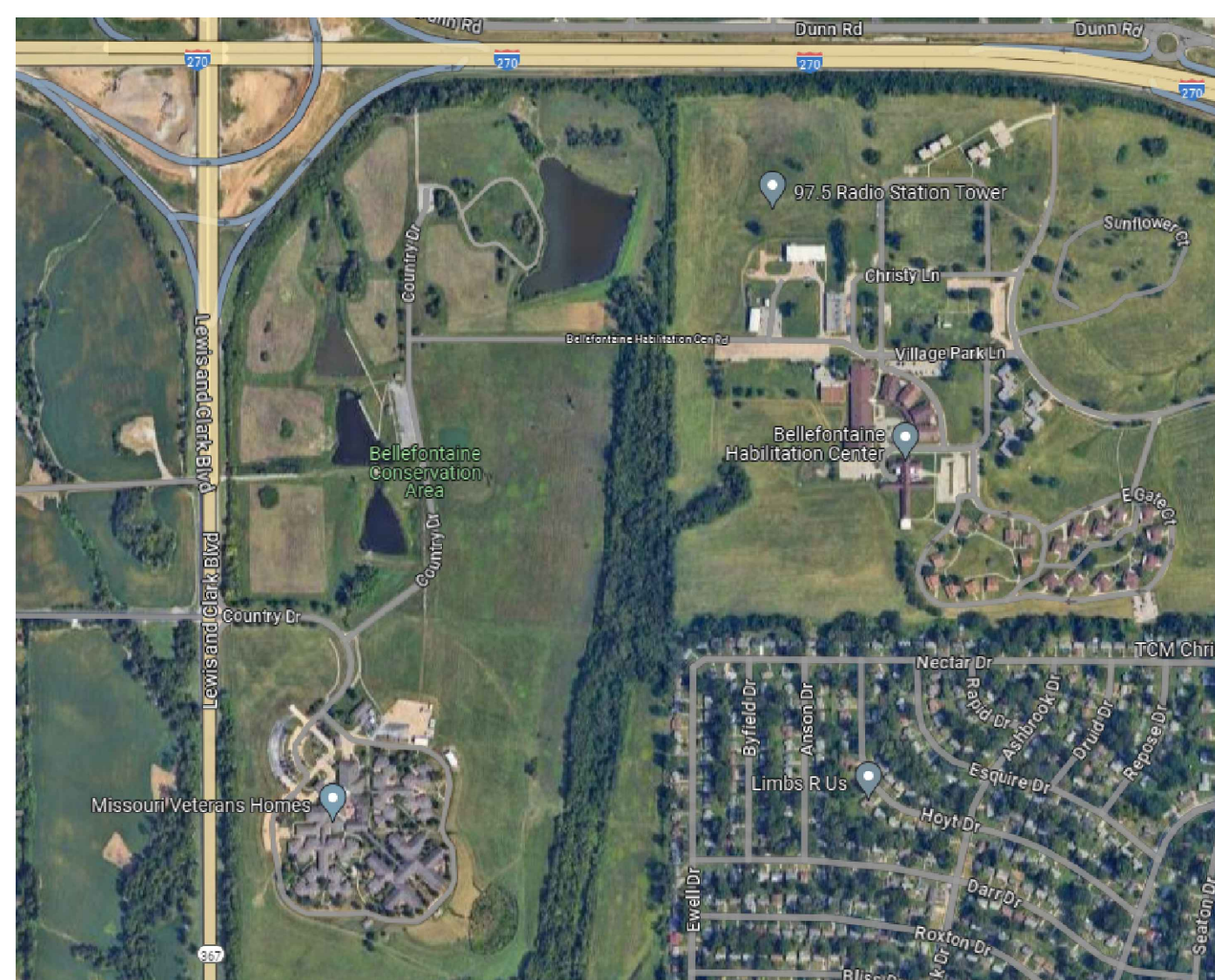


REPLACE ROOF - B WING MISSOURI VETERANS HOME ST. LOUIS, MISSOURI

OWNER: STATE OF MISSOURI
MICHAEL L. PARSON,
GOVERNOR

DEPARTMENT OF PUBLIC SAFETY MISSOURI
VETERANS COMMISSION

PROJECT
MANAGEMENT: OFFICE OF ADMINISTRATION
DIVISION OF FACILITIES MANAGEMENT,
DESIGN AND CONSTRUCTION



1 SITE LOCATION MAP
SCALE: N.T.S.

DESIGNER: STATE OF MISSOURI - OFFICE OF ADMINISTRATION
DIVISION OF FACILITIES MANAGEMENT DESIGN
AND CONSTRUCTION: 301 W. HIGH STREET,
JEFFERSON CITY, MO. 65102

PROJECT NUMBER: U2502-01

ASSET NUMBER: 8136804001

SHEET LIST:
G-001 - COVER SHEET
A-101 - WING B ROOF RENOVATION PLAN
A-102 - WING B CORRIDOR ROOF RENOVATION PLAN (ALTERNATE #1)
A-501 - ROOF DETAILS

SHEET NUMBER:

G-001

1 OF 4 SHEETS
8/28/2024



Brad M. Schaefer - Architect
MO# A-2009027294

BID DOCUMENTS

OFFICE OF ADMINISTRATION
DIVISION OF FACILITIES
MANAGEMENT,
DESIGN AND CONSTRUCTION

DEPARTMENT OF
PUBLIC SAFETY/
VETERANS COMMISSION

REPLACE ROOF
B WING

ST. LOUIS VETERANS HOME
10600 LEWIS AND CLARK BLVD,
ST. LOUIS, MO 63136

PROJECT # U2502-01
SITE # 6804
ASSET # 8136804001

REVISION: _____
DATE: _____
REVISION: _____
DATE: _____
REVISION: _____
DATE: _____
ISSUE DATE: 8/28/2024

CAD DWG FILE: _____
DRAWN BY: RG
CHECKED BY: BMS
DESIGNED BY: BMS

SHEET TITLE:
**WING B ROOF
RENOVATION
PLAN**

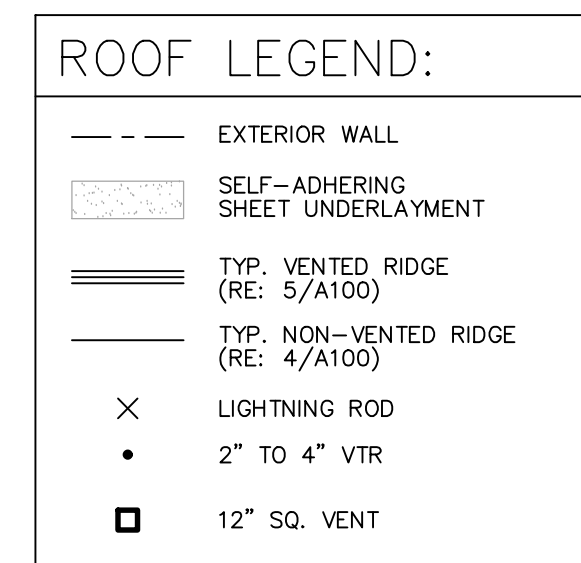
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A-101

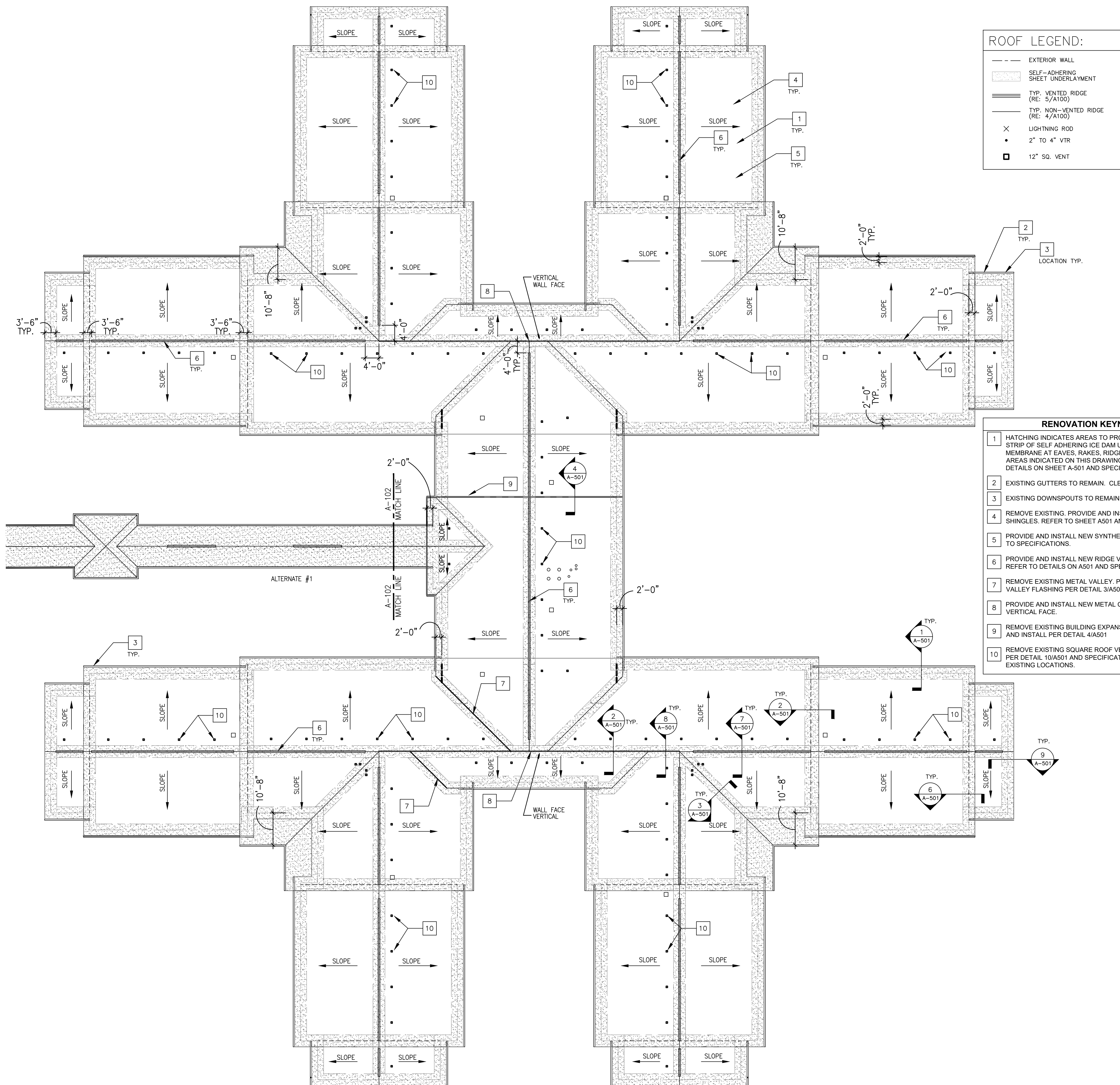
2 OF 4 SHEETS
8/28/2024

- NEW CONSTRUCTION GENERAL NOTES:**
- ALL ROOFING SHALL BE DONE IN ACCORDANCE WITH THE LATEST ADDITION OF THE NATIONAL ROOFING CONTRACTORS ASSOCIATION (NRCA) ROOFING MANUAL AND ASHRAE AS IT SIMILARLY RELATES TO ARCHITECTURAL METAL ROOFING AND EQUIPMENT.
 - EXISTING CONDITIONS AND DIMENSIONS AS SHOWN ON THESE DRAWINGS ARE APPROXIMATIONS. ACTUAL CONDITIONS AND DIMENSIONS MAY VARY. CONTRACTORS SHALL VERIFY EXISTING CONDITIONS AND DIMENSIONS TO THE EXTENT THAT IT WOULD MAKE A DIFFERENCE TO THEIR BID. NO ADDITIONAL COST TO THE OWNER WILL BE CONSIDERED BASED UPON ANY MINOR VARIATIONS.
 - THE CONTRACTOR IS TO VISIT THE SITE DURING THE BIDDING PERIOD AND IS TO ADVISE THE ARCHITECT OF ANY SITUATION OR DISCREPANCY WHICH WILL NOT ALLOW SUCCESSFUL COMPLETION OF THE WORK.
 - ALL ROOF SLOPES ARE APPROXIMATELY 4:12 UNLESS OTHERWISE INDICATED ON DRAWINGS.
 - DEMOLITION SHALL INCLUDE THE COMPLETE REMOVAL OF EXISTING SHINGLES, UNDERLAYMENTS, FASTENERS, & FLASHINGS AS INDICATED DOWN TO THE EXISTING WOOD DECK. PROPERLY DISPOSED OF ALL MATERIALS WHICH ARE NOT MEANT TO BE REUSED.
 - CONTRACTOR IS RESPONSIBLE FOR ANY INCIDENTAL DAMAGE DONE TO BUILDING AND GROUNDS DURING COURSE OF DEMOLITION AND CONSTRUCTION AND SHALL RESTORE BUILDING AND GROUNDS TO EXISTING CONDITIONS UPON COMPLETION OF ROOFING PROJECT.
 - CLEAN EXISTING GUTTERS & DOWNSPOUTS INSIDE & OUT. REMOVE SEALANT AT ALL CORNERS & CONNECTIONS AND APPLY NEW SEALANT. REMOVE & REINSTALL LEAF GUARDS AS NEEDED. INSPECT GUTTER PITCH TO ENSURE PROPER FLOW TO DOWN SPOUTS AND ADJUST AS NEEDED.
 - INSPECT PLYWOOD ROOF SHEATHING FOR DETERIORATED OR OTHERWISE DAMAGED MATERIALS AND REPLACE AS APPROVED & DIRECTED BY OWNER. 640 SQUARE FEET OF PLYWOOD DECKING REPLACEMENT IS INCLUDED IN THE BASE BID.
 - PROVIDE & INSTALL NEW PREFINISHED METAL ROOF EDGE, SYNTHETIC UNDERLAYMENT, ICE & WATER SHIELD, AND ARCHITECTURAL SHINGLES.
 - CONTRACTOR SHALL REPAIR RUTS MADE TO GROUNDS BY CONSTRUCTION ACTIVITIES.
 - CONTRACTOR SHALL THOROUGHLY CLEAN ROOFS & SITE UPON COMPLETION OF ROOFING. PICK UP & PROPERLY DISPOSE OF ALL FASTENERS, DEBRIS, & EXTRA MATERIALS NOT MEANT TO BE LEFT WITH OWNER.
 - FLASH AROUND ALL ROOF PENETRATIONS PER MANUFACTURER'S RECOMMENDATION, WHETHER SPECIFICALLY SHOWN OR NOT.
 - REMOVE & REINSTALL LIGHTNING RODS AS NECESSARY FOR WATERTIGHT ROOF INSTALLATION. TEST RESISTANCE OF GROUNDING SYSTEM PER NFPA 780 AT END OF PROJECT.
 - THE CONTRACTOR SHALL COORDINATE WITH THE FACILITY TO ESTABLISH PROCEDURES FOR THE CONTROLLED ENTRY OF MEN AND MATERIALS INTO THE WORK AREA AND SHALL COMPLY WITH ALL RULES AND REGULATIONS ESTABLISHED BY THE FACILITY. THE INTERRUPTION OF SECURITY AND COMMUNICATIONS WILL NOT BE PERMITTED. CONTRACTOR SHALL INFORM AND COORDINATE WITH SECURITY OFFICIALS 48 HOURS IN ADVANCE OF ANY WORK RELATED TO SECURITY OR COMMUNICATIONS.
 - EXISTING GUTTERS AND DOWNSPOUTS TO REMAIN.

- DEMOLITION GENERAL NOTES:**
- REMOVE AND PROPERLY DISPOSE OF ALL EXISTING SHINGLES, EXISTING UNDERLAYMENTS, EXISTING FLASHINGS AND FASTENERS DOWN TO THE EXISTING WOOD DECK, UNLESS NOTED OTHERWISE.
 - ONCE EXISTING ROOFING IS REMOVED, CAREFULLY INSPECT ALL EXISTING WOOD DECK FOR DAMAGE OR ROT.
 - EXISTING GUTTERS AND DOWNSPOUTS TO REMAIN.
 - REMOVE EXISTING LIGHTNING PROTECTION DEVICES AND PROTECT FOR REINSTALLATION.



- RENOVATION KEYNOTES:**
- HATCHING INDICATES AREAS TO PROVIDE AND INSTALL 36" WIDE STRIP OF SELF ADHERING ICE DAM UNDERLAYMENT PROTECTION MEMBRANE AT EAVES, RAKES, RIDGES, HIPS VALLEYS AND OTHER AREAS INDICATED ON THIS DRAWING AND SPECIFICATIONS. RE: DETAILS ON SHEET A-501 AND SPECIFICATIONS.
 - EXISTING GUTTERS TO REMAIN. CLEAN AND SEAL.
 - EXISTING DOWNSPOUTS TO REMAIN. CLEAN AND SEAL.
 - REMOVE EXISTING. PROVIDE AND INSTALL NEW ASPHALT SHINGLES. REFER TO SHEET A501 AND SPECIFICATIONS
 - PROVIDE AND INSTALL NEW SYNTHETIC UNDERLAYMENT. REFER TO SPECIFICATIONS.
 - PROVIDE AND INSTALL NEW RIDGE VENT AT EXISTING LOCATIONS. REFER TO DETAILS ON A501 AND SPECIFICATIONS.
 - REMOVE EXISTING METAL VALLEY. PROVIDE AND INSTALL NEW VALLEY FLASHING PER DETAIL 3/A501
 - PROVIDE AND INSTALL NEW METAL CAP EDGE FLASHING EXISTING VERTICAL FACE.
 - REMOVE EXISTING BUILDING EXPANSION FLASHING. PROVIDE AND INSTALL PER DETAIL 4/A501
 - REMOVE EXISTING SQUARE ROOF VENTS. PROVIDE AND INSTALL PER DETAIL 10/A501 AND SPECIFICATIONS. TYPICAL AT ALL EXISTING LOCATIONS.



1 WING B ROOF REPLACEMENT PLAN
SCALE: 1/16" = 1'-0"

2 KEY PLAN
SCALE: N.T.S.



Brad M. Schaefer - Architect
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DEPARTMENT OF
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REPLACE ROOF
B WING

ST. LOUIS VETERANS HOME
10600 LEWIS AND CLARK BLVD,
ST. LOUIS, MO 63136

PROJECT # U2502-01
SITE # 6804
ASSET # 8136804001

REVISION: _____
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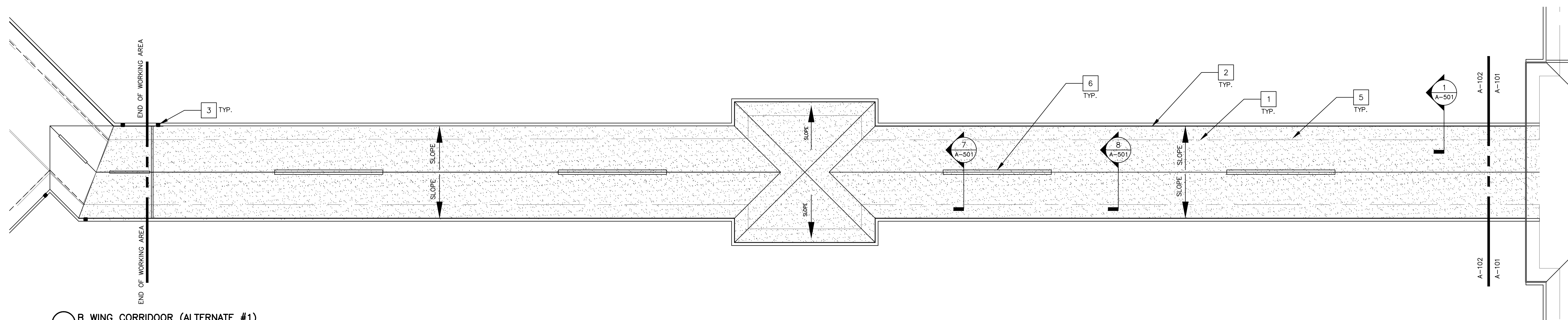
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DRAWN BY: RG
CHECKED BY: BMS
DESIGNED BY: BMS

SHEET TITLE:
**WING B CORRIDOR
ROOF RENOVATION
PLAN (ALTERNATE #1)**

SHEET NUMBER:

A-102

3 OF 4 SHEETS
8/28/2024



1 B WING CORRIDOR (ALTERNATE #1)
SCALE: 1/8" = 1'-0"

ROOF LEGEND:

	HVAC CURB & LIGHTNING ROD
	EXTERIOR WALL
	SELF-ADHERING SHEET UNDERLAYMENT
	TYP. VENTED RIDGE (RE: 5/A100)
	TYP. NON-VENTED RIDGE (RE: 4/A100)
	LIGHTNING ROD
	2" TO 4" VTR
	20" SQ. POWER VENT & LIGHTNING ROD

RENOVATION KEYNOTES:

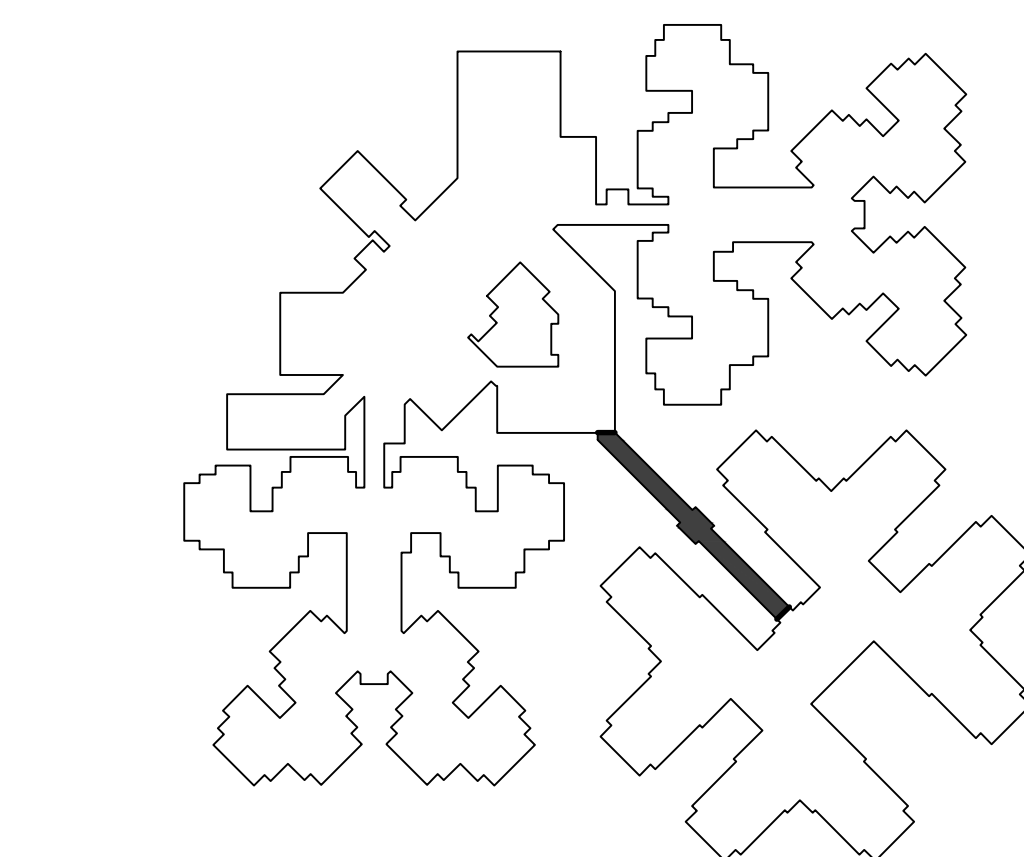
- 1 HATCHING INDICATES AREAS TO PROVIDE AND INSTALL 36" WIDE STRIP OF SELF ADHERING ICE DAM UNDERLAYMENT PROTECTION MEMBRANE AT EAVES, RAKES, RIDGES, HIP VALLEYS AND OTHER AREAS INDICATED ON THIS DRAWING AND SPECIFICATIONS. RE: DETAILS ON SHEET A-501 AND SPECIFICATIONS.
- 2 EXISTING GUTTERS TO REMAIN. CLEAN AND SEAL.
- 3 EXISTING DOWNSPOUTS TO REMAIN. CLEAN AND SEAL.
- 4 REMOVE EXISTING. PROVIDE AND INSTALL NEW ASPHALT SHINGLES. REFER TO SHEET A501 AND SPECIFICATIONS
- 5 PROVIDE AND INSTALL NEW SYNTHETIC UNDERLAYMENT. REFER TO SPECIFICATIONS.
- 6 PROVIDE AND INSTALL NEW RIDGE VENT AT EXISTING LOCATIONS. REFER TO DETAILS ON A501 AND SPECIFICATIONS.

NEW CONSTRUCTION GENERAL NOTES:

1. ALL ROOFING SHALL BE DONE IN ACCORDANCE WITH THE LATEST ADDITION OF THE NATIONAL ROOFING CONTRACTORS ASSOCIATION (NRCA) ROOFING MANUAL AND ASHRAE AS IT SIMILARLY RELATES TO ARCHITECTURAL METAL ROOFING AND EQUIPMENT.
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3. THE CONTRACTOR IS TO VISIT THE SITE DURING THE BIDDING PERIOD AND IS TO ADVISE THE ARCHITECT OF ANY SITUATION OR DISCREPANCY WHICH WILL NOT ALLOW SUCCESSFUL COMPLETION OF THE WORK.
4. ALL ROOF SLOPES ARE APPROXIMATELY 4:12 UNLESS OTHERWISE INDICATED ON DRAWINGS.
5. DEMOLITION SHALL INCLUDE THE COMPLETE REMOVAL OF EXISTING SHINGLES, UNDERLAYMENTS, FASTENERS, & FLASHINGS AS INDICATED DOWN TO THE EXISTING WOOD DECK. PROPERLY DISPOSED OF ALL MATERIALS WHICH ARE NOT MEANT TO BE REUSED.
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7. CLEAN EXISTING GUTTERS & DOWNSPOUTS INSIDE & OUT. REMOVE SEALANT AT ALL CORNERS & CONNECTIONS AND APPLY NEW SEALANT. REMOVE & REINSTALL LEAF GUARDS AS NEEDED. INSPECT GUTTER PITCH TO ENSURE PROPER FLOW TO DOWN SPOUTS AND ADJUST AS NEEDED.
8. INSPECT PLYWOOD ROOF SHEATHING FOR DETERIORATED OR OTHERWISE DAMAGED MATERIALS AND REPLACE AS APPROVED & DIRECTED BY OWNER. 640 SQUARE FEET OF PLYWOOD DECKING REPLACEMENT IS INCLUDED IN THE BASE BID.
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12. FLASH AROUND ALL ROOF PENETRATIONS PER MANUFACTURER'S RECOMMENDATION, WHETHER SPECIFICALLY SHOWN OR NOT.
13. REMOVE & REINSTALL LIGHTNING RODS AS NECESSARY FOR WATERTIGHT ROOF INSTALLATION. TEST RESISTANCE OF GROUNDING SYSTEM PER NFPA 780 AT END OF PROJECT.
14. THE CONTRACTOR SHALL COORDINATE WITH THE FACILITY TO ESTABLISH PROCEDURES FOR THE CONTROLLED ENTRY OF MEN AND MATERIALS INTO THE WORK AREA AND SHALL COMPLY WITH ALL RULES AND REGULATIONS ESTABLISHED BY THE FACILITY. THE INTERRUPTION OF SECURITY AND COMMUNICATIONS WILL NOT BE PERMITTED. CONTRACTOR SHALL INFORM AND COORDINATE WITH SECURITY OFFICIALS 48 HOURS IN ADVANCE OF ANY WORK RELATED TO SECURITY OR COMMUNICATIONS.
15. EXISTING GUTTERS AND DOWNSPOUTS TO REMAIN.

DEMOLITION GENERAL NOTES:

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3. EXISTING GUTTERS AND DOWNSPOUTS TO REMAIN.
4. REMOVE EXISTING LIGHTNING PROTECTION DEVICES AND PROTECT FOR REINSTALLATION.



2 KEY PLAN
SCALE: N.T.S.



Brad M. Schaefer - Architect
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SHEET TITLE:
ROOF DETAILS

SHEET NUMBER:

A-501

4 OF 4 SHEETS
8/28/2024

