# REPLACE ROOFS MULTIPLE ASSETS OZARK CORRECTIONAL CENTER FORDLAND, MISSOURI

OWNER:

STATE OF MISSOURI MICHAEL L. PARSON,

GOVERNOR

DEPARTMENT OF CORRECTIONS

**PROJECT** 

OFFICE OF ADMINISTRATION

MANAGEMENT: DIVISION OF FACILITIES MANAGEMENT,

DESIGN AND CONSTRUCTION

DESIGNER:

STATE OF MISSOURI - OFFICE OF ADMINISTRATION

DIVISION OF FACILITIES MANAGEMENT DESIGN

AND CONSTRUCTION: 301 W. HIGH STREET,

JEFFERSON CITY, MO. 65102

PROJECT NUMBER:

C2004-01

ASSET NUMBER:

9327003025-FOOD SERVICE (BASE BID) 9327003018-RECORDS AND P&P (BASE BID)

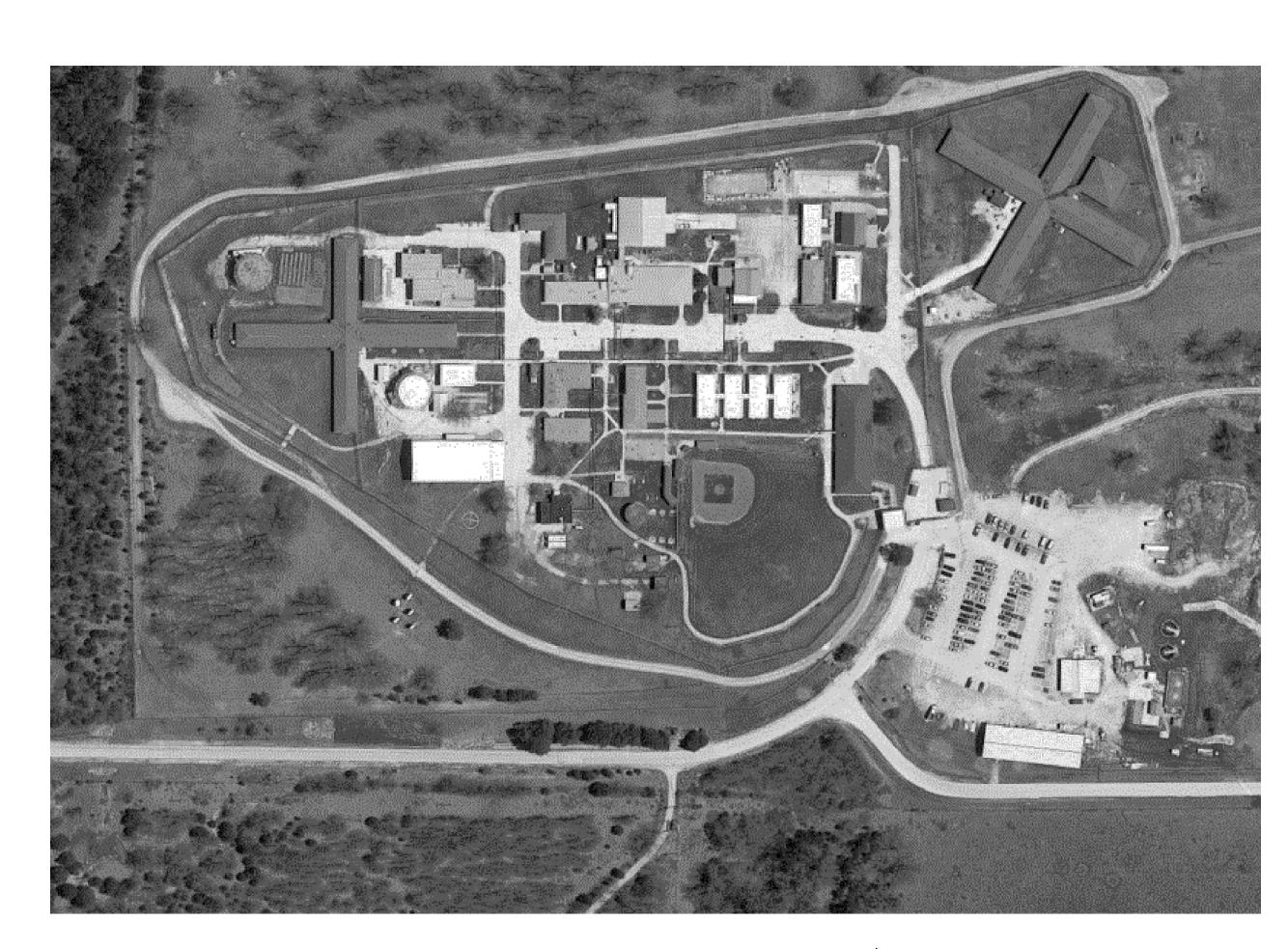
9327003019 RECORDS 71ND 1 CET (B715E B1D) 9327003017-ADMINISTRATION (ALTERNATE #2) 9327003019-SEGREGATION (ALTERNATE #1)

9327003033-POWER PLANT (BASE BID)

SHEET NUMBER:

G-001

1 OF 7 SHEETS
MARCH 17, 2023



1 SITE LOCATION MAP

# **DRAWING INDEX**

G-001 COVER SHEET

G-002 OVERALL SITE PLAN AND DRAWING INDEX

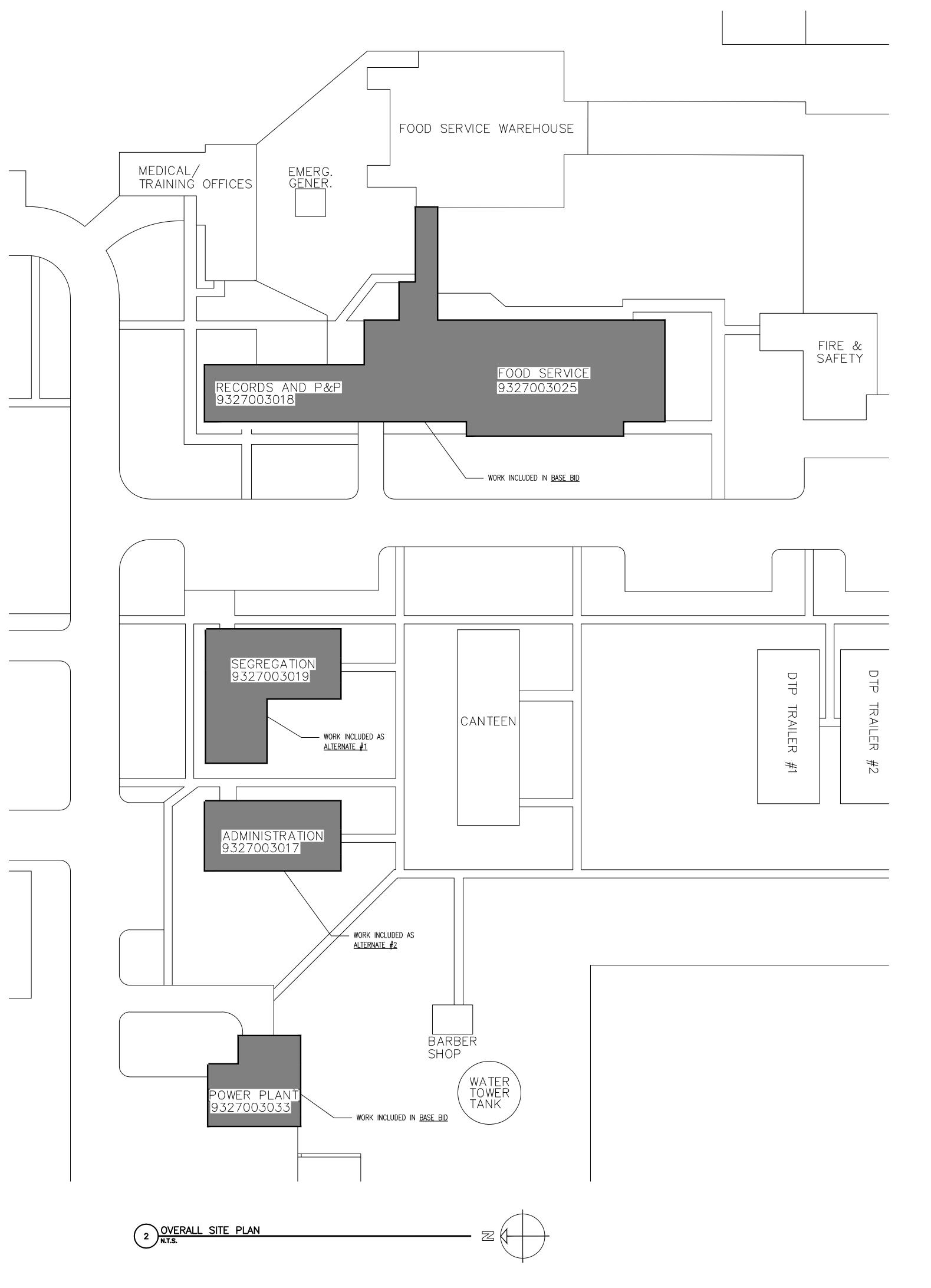
ARCHITECTURAL

A-101 FOOD SERVICE/RECORDS AND P&P BUILDING ROOF PLAN

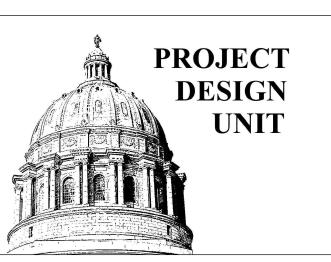
A-102 SEGREGATION BUIDLING ROOF PLAN

A-103 ADMINSTRATION BUILDING ROOF PLAN A-104 POWERPLANT BUILDING ROOF PLAN

A-501 ROOF DETAILS



STATE OF MISSOURI MICHAEL L. PARSON, GOVERNOR



OFFICE OF ADMINISTRATION DIVISION OF FACILITIES MANAGEMENT, DESIGN AND CONSTRUCTION

DEPARTMENT OF CORRECTIONS

REPLACE ROOFS MULTIPLE ASSETS

OZARKS CORRECTIONAL CENTER

929 HONOR CAMP LANE FORDLAND, MO 65652

PROJECT # C2004-01

SITE # 7003

ASSET #
9327003025-FOOD SERVICE
9327003018-RECORDS AND P&P
9327003017-ADMINISTRATION
9327003019-SEGREGATION
9327003033-POWER PLANT

REVISION:
DATE:
REVISION:
DATE:
REVISION:
DATE:
REVISION:
DATE:
ISSUE DATE: 3/17/2023

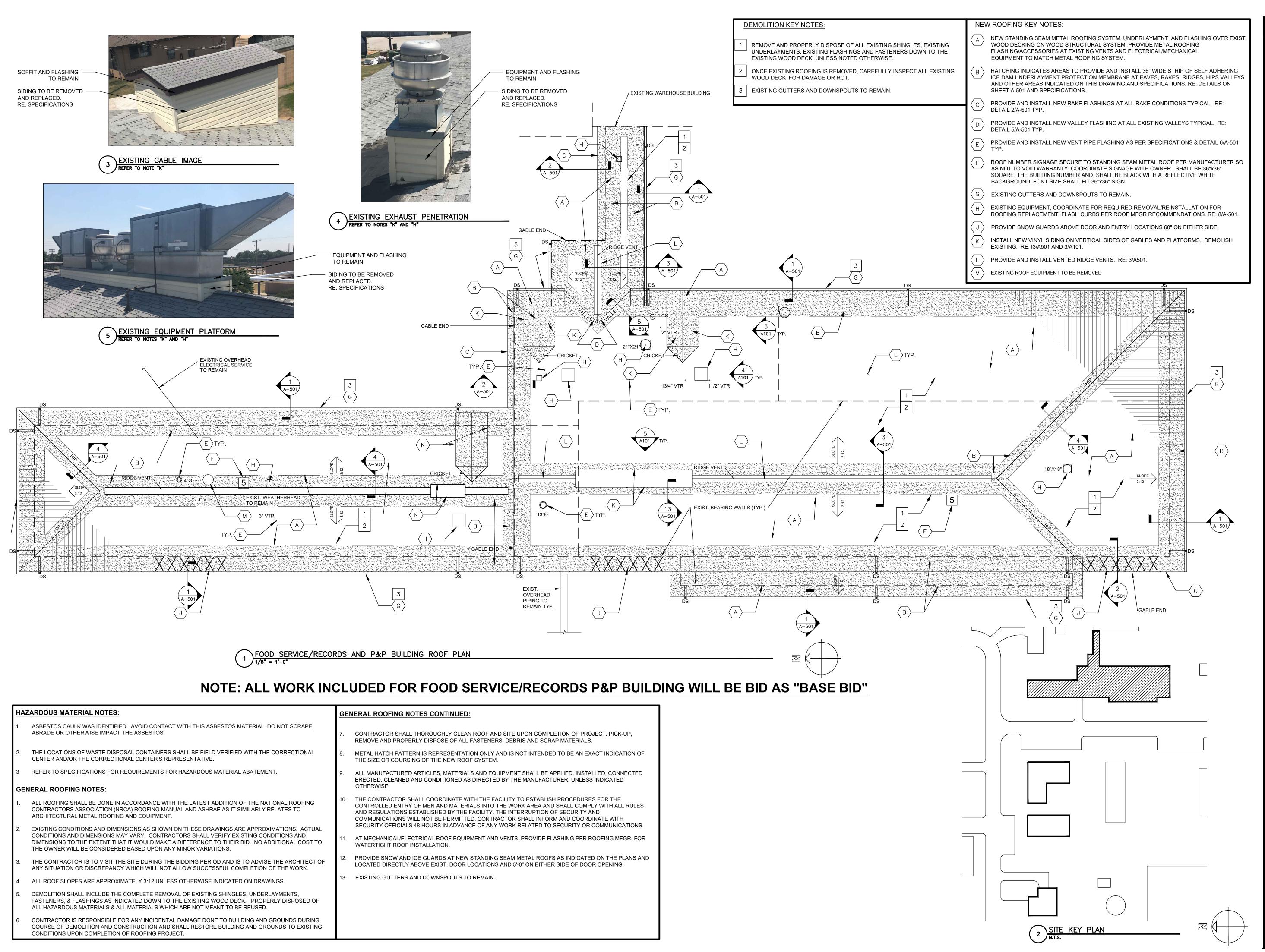
CAD DWG FILE:CB
DRAWN BY: CB
CHECKED BY: BMS
DESIGNED BY: BMS

SHEET TITLE:

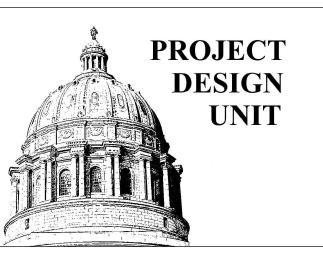
OVERALL SITE PLAN
AND DRAWING
INDEX

SHEET NUMBER:

G-002



STATE OF MISSOURI MICHAEL L. PARSON, GOVERNOR



OFFICE OF ADMINISTRATION DIVISION OF FACILITIES MANAGEMENT, DESIGN AND CONSTRUCTION

DEPARTMENT OF CORRECTIONS

REPLACE ROOFS MULTIPLE ASSETS OZARKS CORRECTIONAL CENTER

929 HONOR CAMP LANE FORDLAND, MO 65652

PROJECT # C2004-01 SITE # 7003

ASSET # 9327003025-FOOD SERVICE 9327003018-RECORDS AND P&P

REVISION:	
DATE:	•
REVISION:	
DATE:	•
REVISION:	
DATE:	
ISSUE DATE: 2/17/2022	

ISSUE DATE: 3/17/2023

CAD DWG FILE:CB
DRAWN BY: CB
CHECKED BY: BMS
DESIGNED BY: BMS

SHEET TITLE:

FOOD SERVICE/
RECORDS AND P&P
ROOF PLAN

SHEET NUMBER:

A-101

### **HAZARDOUS MATERIAL NOTES:**

- 1 ASBESTOS CAULK WAS IDENTIFIED. AVOID CONTACT WITH THIS ASBESTOS MATERIAL. DO NOT SCRAPE, ABRADE OR OTHERWISE IMPACT THE ASBESTOS.
- THE LOCATIONS OF WASTE DISPOSAL CONTAINERS SHALL BE FIELD VERIFIED WITH THE CORRECTIONAL CENTER AND/OR THE CORRECTIONAL CENTER'S REPRESENTATIVE.
- REFER TO SPECIFICATIONS FOR REQUIREMENTS FOR HAZARDOUS MATERIAL ABATEMENT.

### **GENERAL ROOFING NOTES:**

- 1. ALL ROOFING SHALL BE DONE IN ACCORDANCE WITH THE LATEST ADDITION OF THE NATIONAL ROOFING CONTRACTORS ASSOCIATION (NRCA) ROOFING MANUAL AND ASHRAE AS IT SIMILARLY RELATES TO ARCHITECTURAL METAL ROOFING AND EQUIPMENT.
- 2. EXISTING CONDITIONS AND DIMENSIONS AS SHOWN ON THESE DRAWINGS ARE APPROXIMATIONS. ACTUAL CONDITIONS AND DIMENSIONS MAY VARY. CONTRACTORS SHALL VERIFY EXISTING CONDITIONS AND DIMENSIONS TO THE EXTENT THAT IT WOULD MAKE A DIFFERENCE TO THEIR BID. NO ADDITIONAL COST TO THE OWNER WILL BE CONSIDERED BASED UPON ANY MINOR VARIATIONS.
- 3. THE CONTRACTOR IS TO VISIT THE SITE DURING THE BIDDING PERIOD AND IS TO ADVISE THE ARCHITECT OF ANY SITUATION OR DISCREPANCY WHICH WILL NOT ALLOW SUCCESSFUL COMPLETION OF THE WORK.
- 4. ALL ROOF SLOPES ARE APPROXIMATELY 3:12 UNLESS OTHERWISE INDICATED ON DRAWINGS.
- 5. DEMOLITION SHALL INCLUDE THE COMPLETE REMOVAL OF EXISTING SHINGLES, UNDERLAYMENTS, FASTENERS, & FLASHINGS AS INDICATED DOWN TO THE EXISTING WOOD DECK. PROPERLY DISPOSED OF ALL HAZARDOUS MATERIALS & ALL MATERIALS WHICH ARE NOT MEANT TO BE REUSED.
- 6. CONTRACTOR IS RESPONSIBLE FOR ANY INCIDENTAL DAMAGE DONE TO BUILDING AND GROUNDS DURING COURSE OF DEMOLITION AND CONSTRUCTION AND SHALL RESTORE BUILDING AND GROUNDS TO EXISTING CONDITIONS UPON COMPLETION OF ROOFING PROJECT.
- 7. CONTRACTOR SHALL THOROUGHLY CLEAN ROOF AND SITE UPON COMPLETION OF PROJECT. PICK-UP, REMOVE AND PROPERLY DISPOSE OF ALL FASTENERS, DEBRIS AND SCRAP MATERIALS.
- 8. METAL HATCH PATTERN IS REPRESENTATION ONLY AND IS NOT INTENDED TO BE AN EXACT INDICATION OF THE SIZE OR COURSING OF THE NEW ROOF SYSTEM.
- 9. ALL MANUFACTURED ARTICLES, MATERIALS AND EQUIPMENT SHALL BE APPLIED, INSTALLED, CONNECTED ERECTED, CLEANED AND CONDITIONED AS DIRECTED BY THE MANUFACTURER, UNLESS INDICATED OTHERWISE.
- 10. THE CONTRACTOR SHALL COORDINATE WITH THE FACILITY TO ESTABLISH PROCEDURES FOR THE CONTROLLED ENTRY OF MEN AND MATERIALS INTO THE WORK AREA AND SHALL COMPLY WITH ALL RULES AND REGULATIONS ESTABLISHED BY THE FACILITY. THE INTERRUPTION OF SECURITY AND COMMUNICATIONS WILL NOT BE PERMITTED. CONTRACTOR SHALL INFORM AND COORDINATE WITH SECURITY OFFICIALS 48 HOURS IN ADVANCE OF ANY WORK RELATED TO SECURITY OR COMMUNICATIONS.
- 11. AT MECHANICAL/ELECTRICAL ROOF EQUIPMENT AND VENTS, PROVIDE FLASHING PER ROOFING MFGR. FOR WATERTIGHT ROOF INSTALLATION.
- 12. PROVIDE SNOW AND ICE GUARDS AT NEW STANDING SEAM METAL ROOFS AS INDICATED ON THE PLANS AND LOCATED DIRECTLY ABOVE EXIST. DOOR LOCATIONS AND 5'-0" ON EITHER SIDE OF DOOR OPENING.
- 13. EXISTING GUTTERS AND DOWNSPOUTS TO REMAIN.

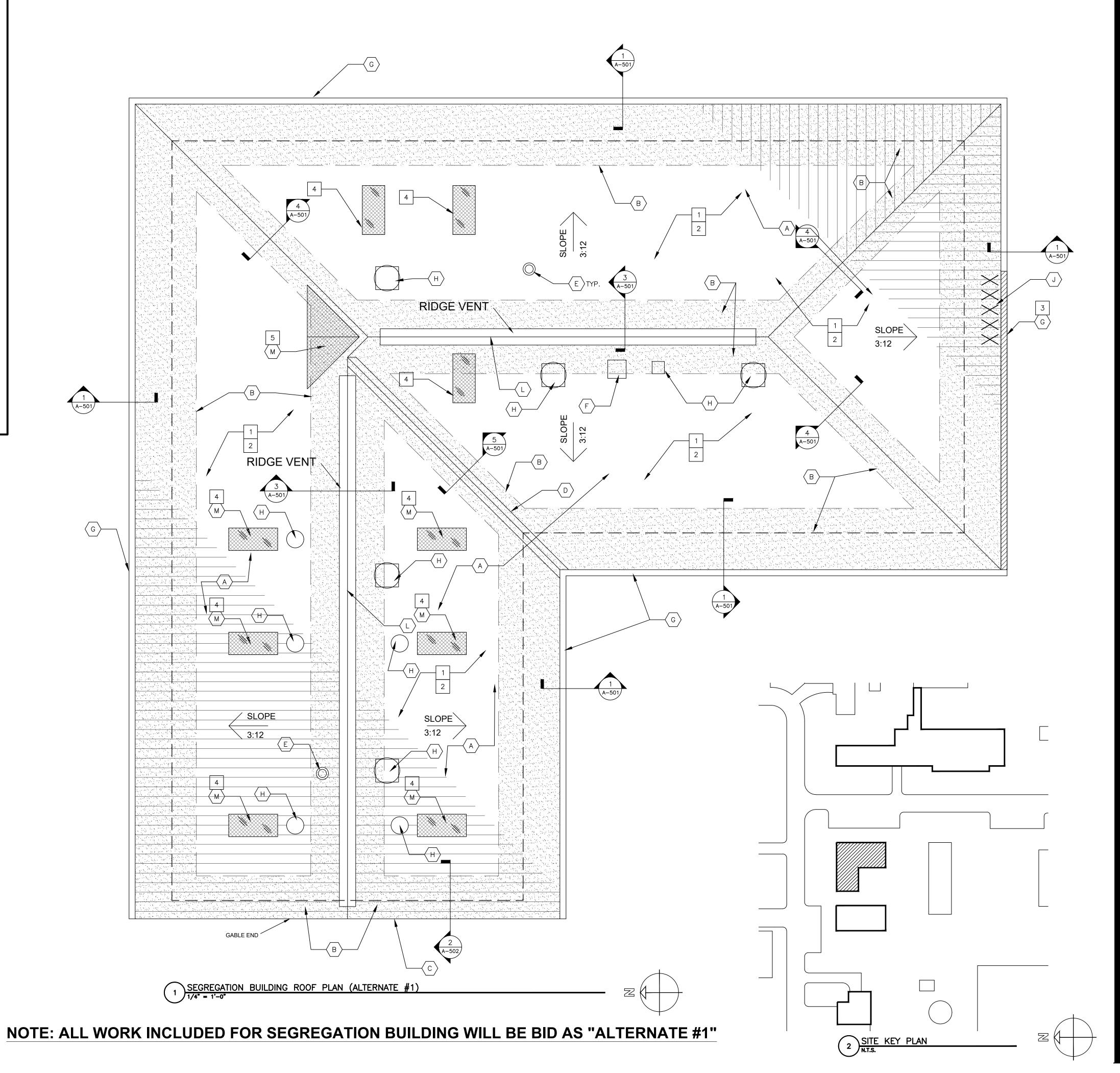
# DEMOLITION KEY NOTES:

- 1 REMOVE AND PROPERLY DISPOSE OF ALL EXISTING SHINGLES, EXISTING UNDERLAYMENTS, EXISTING FLASHINGS AND FASTENERS DOWN TO THE EXISTING WOOD DECK, UNLESS NOTED OTHERWISE.
- ONCE EXISTING ROOFING IS REMOVED, CAREFULLY INSPECT ALL EXISTING WOOD DECK FOR DAMAGE OR ROT.
- 3 HATCHING INDICATES EXISTING GUTTERS AND DOWNSPOUTS TO BE REMOVED.
- 4 HATCHING INDICATES DEMOLITION OF EXISTING SKYLIGHT.
- 5 HATCHING INDICATES EXISTING ROOF GABLE TO BE DEMOLISHED.

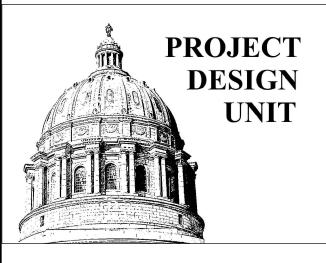
# NEW ROOFING KEY NOTES:

- NEW STANDING SEAM METAL ROOFING SYSTEM, UNDERLAYMENT, AND FLASHING OVER EXIST WOOD DECKING ON WOOD STRUCTURAL SYSTEM. PROVIDE METAL ROOFING FLASHING/ACCESSORIES AT EXISTING VENTS AND ELECTRICAL/MECHANICAL EQUIPMENT TO MATCH METAL ROOFING SYSTEM.
- B HATCHING INDICATES AREAS TO PROVIDE AND INSTALL 36" WIDE STRIP OF SELF ADHERING ICE DAM UNDERLAYMENT PROTECTION MEMBRANE AT EAVES, RAKES, RIDGES, HIPS VALLEYS AND OTHER AREAS INDICATED ON THIS DRAWING AND SPECIFICATIONS.

  RE: DETAILS ON SHEET A-501 AND SPECIFICATIONS.
- PROVIDE AND INSTALL NEW RAKE FLASHINGS AT ALL RAKE CONDITIONS TYPICAL. RE: DETAIL 2/A-501 TYP.
- PROVIDE AND INSTALL NEW VALLEY FLASHING AT ALL EXISTING VALLEYS TYPICAL. RE: DETAIL 5/A-501 TYP.
- F PROVIDE AND INSTALL NEW VENT PIPE FLASHING AS PER SPECIFICATIONS & DETAIL 6/A-501
- ROOF NUMBER SIGNAGE SECURE TO STANDING SEAM METAL ROOF PER MANUFACTURER SO AS NOT TO VOID WARRANTY. COORDINATE SIGNAGE WITH OWNER. SHALL BE 36"x36" SQUARE. THE BUILDING NUMBER AND SHALL BE BLACK WITH A REFLECTIVE WHITE BACKGROUND. FONT SIZE SHALL FIT 36"x36" SIGN.
- G NEW 6"x6" PREFINISHED METAL GUTTERS AND DOWNSPOUTS TO GRADE.
- EXISTING EQUIPMENT TO BE REMOVED INFILL LOCATION WITH 3/4" PLYWOOD DECKING SCREWED TO EXISTING STRUCTURAL SYSTEM JOISTS.
- J PROVIDE SNOW GUARDS ABOVE DOOR AND ENTRY LOCATIONS 60" ON EITHER SIDE.
- K NOT USED.
- PROVIDE AND INSTALL VENTED RIDGE VENTS. RE: 3/A-501.
- INFILL LOCATION WITH  $^3\!\!4''$  PLYWOOD DECKING SCREWED TO EXISTING STRUCTURAL SYSTEM JOISTS.



STATE OF MISSOURI MICHAEL L. PARSON, GOVERNOR



OFFICE OF ADMINISTRATION DIVISION OF FACILITIES MANAGEMENT, DESIGN AND CONSTRUCTION

DEPARTMENT OF CORRECTIONS

REPLACE ROOFS

MULTIPLE ASSETS
OZARKS CORRECTIONAL

CENTER
929 HONOR CAMP LANE
FORDLAND, MO 65652

PROJECT # C2004-01 SITE # 7003

ASSET # 9327003019-SEGREGATION

REVISION:
DATE:
REVISION:
DATE:
REVISION:
DATE:
REVISION:
DATE:
ISSUE DATE: 3/17/2023

CAD DWG FILE:CB
DRAWN BY: CB
CHECKED BY: BMS

DESIGNED BY: BMS
SHEET TITLE:

SEGREGATION BUILDING ROOF PLAN

SHEET NUMBER:

A-102

### **HAZARDOUS MATERIAL NOTES:**

- ASBESTOS CAULK WAS IDENTIFIED. AVOID CONTACT WITH THIS ASBESTOS MATERIAL. DO NOT SCRAPE, ABRADE OR OTHERWISE IMPACT THE ASBESTOS.
- THE LOCATIONS OF WASTE DISPOSAL CONTAINERS SHALL BE FIELD VERIFIED WITH THE CORRECTIONAL CENTER AND/OR THE CORRECTIONAL CENTER'S REPRESENTATIVE.
- REFER TO SPECIFICATIONS FOR REQUIREMENTS FOR HAZARDOUS MATERIAL ABATEMENT.

### **GENERAL ROOFING NOTES:**

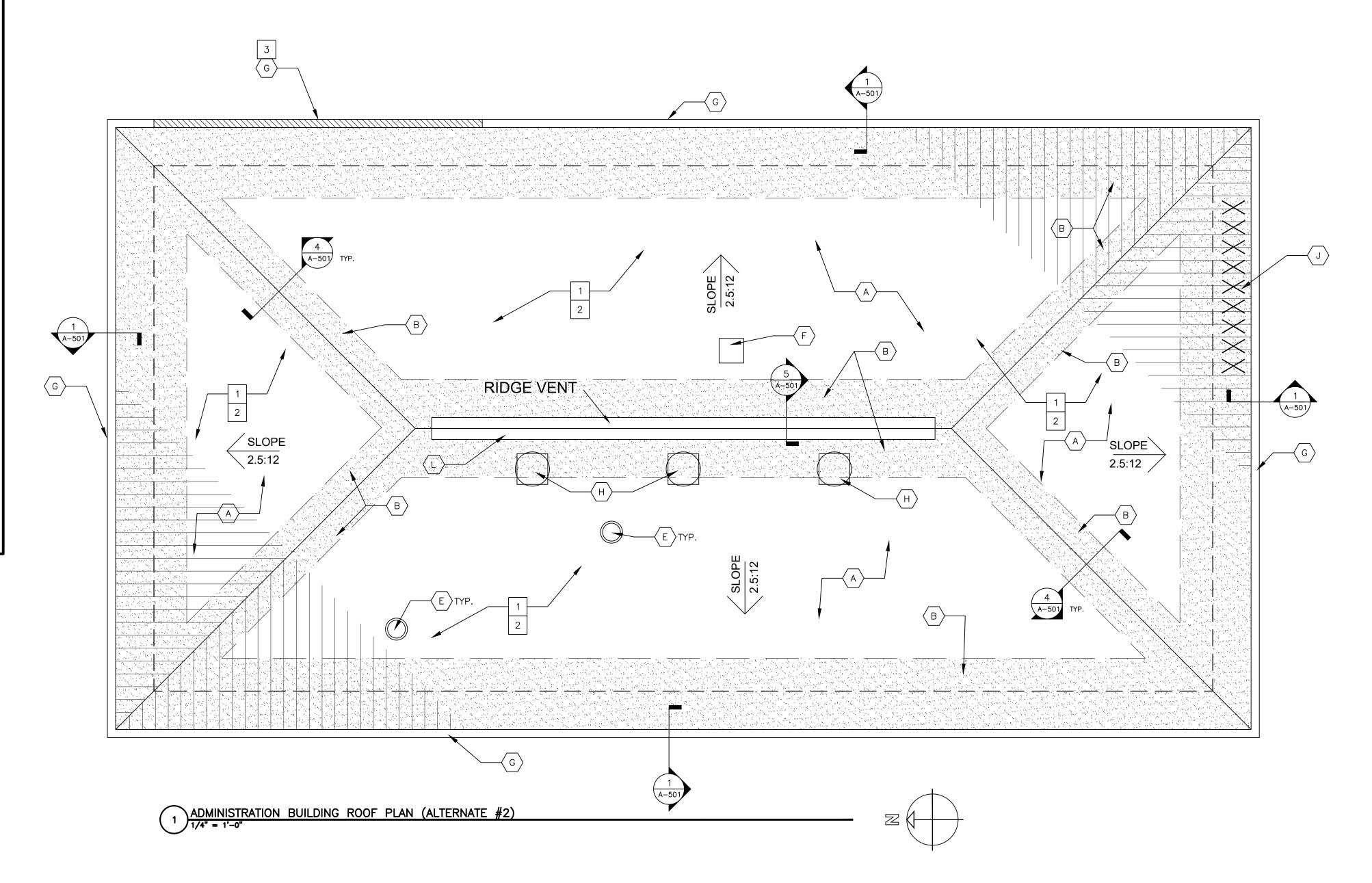
- ALL ROOFING SHALL BE DONE IN ACCORDANCE WITH THE LATEST ADDITION OF THE NATIONAL ROOFING CONTRACTORS ASSOCIATION (NRCA) ROOFING MANUAL AND ASHRAE AS IT SIMILARLY RELATES TO ARCHITECTURAL METAL ROOFING AND EQUIPMENT.
- EXISTING CONDITIONS AND DIMENSIONS AS SHOWN ON THESE DRAWINGS ARE APPROXIMATIONS. ACTUAL CONDITIONS AND DIMENSIONS MAY VARY. CONTRACTORS SHALL VERIFY EXISTING CONDITIONS AND DIMENSIONS TO THE EXTENT THAT IT WOULD MAKE A DIFFERENCE TO THEIR BID. NO ADDITIONAL COST TO THE OWNER WILL BE CONSIDERED BASED UPON ANY MINOR VARIATIONS.
- THE CONTRACTOR IS TO VISIT THE SITE DURING THE BIDDING PERIOD AND IS TO ADVISE THE ARCHITECT OF ANY SITUATION OR DISCREPANCY WHICH WILL NOT ALLOW SUCCESSFUL COMPLETION OF THE WORK.
- . ALL ROOF SLOPES ARE APPROXIMATELY 3:12 UNLESS OTHERWISE INDICATED ON DRAWINGS.
- 5. DEMOLITION SHALL INCLUDE THE COMPLETE REMOVAL OF EXISTING SHINGLES, UNDERLAYMENTS, FASTENERS, & FLASHINGS AS INDICATED DOWN TO THE EXISTING WOOD DECK. PROPERLY DISPOSED OF ALL HAZARDOUS MATERIALS & ALL MATERIALS WHICH ARE NOT MEANT TO BE REUSED.
- 6. CONTRACTOR IS RESPONSIBLE FOR ANY INCIDENTAL DAMAGE DONE TO BUILDING AND GROUNDS DURING COURSE OF DEMOLITION AND CONSTRUCTION AND SHALL RESTORE BUILDING AND GROUNDS TO EXISTING CONDITIONS UPON COMPLETION OF ROOFING PROJECT.
- 7. CONTRACTOR SHALL THOROUGHLY CLEAN ROOF AND SITE UPON COMPLETION OF PROJECT. PICK-UP, REMOVE AND PROPERLY DISPOSE OF ALL FASTENERS, DEBRIS AND SCRAP MATERIALS.
- 8. METAL HATCH PATTERN IS REPRESENTATION ONLY AND IS NOT INTENDED TO BE AN EXACT INDICATION OF THE SIZE OR COURSING OF THE NEW ROOF SYSTEM.
- ALL MANUFACTURED ARTICLES, MATERIALS AND EQUIPMENT SHALL BE APPLIED, INSTALLED, CONNECTED ERECTED, CLEANED AND CONDITIONED AS DIRECTED BY THE MANUFACTURER, UNLESS INDICATED OTHERWISE.
- 10. THE CONTRACTOR SHALL COORDINATE WITH THE FACILITY TO ESTABLISH PROCEDURES FOR THE CONTROLLED ENTRY OF MEN AND MATERIALS INTO THE WORK AREA AND SHALL COMPLY WITH ALL RULES AND REGULATIONS ESTABLISHED BY THE FACILITY. THE INTERRUPTION OF SECURITY AND COMMUNICATIONS WILL NOT BE PERMITTED. CONTRACTOR SHALL INFORM AND COORDINATE WITH SECURITY OFFICIALS 48 HOURS IN ADVANCE OF ANY WORK RELATED TO SECURITY OR COMMUNICATIONS.
- 11. AT MECHANICAL/ELECTRICAL ROOF EQUIPMENT AND VENTS, PROVIDE FLASHING PER ROOFING MFGR. FOR WATERTIGHT ROOF INSTALLATION.
- 12. PROVIDE SNOW AND ICE GUARDS AT NEW STANDING SEAM METAL ROOFS AS INDICATED ON THE PLANS AND LOCATED DIRECTLY ABOVE EXIST. DOOR LOCATIONS AND 5'-0" ON EITHER SIDE OF DOOR OPENING.
- 13. EXISTING GUTTERS AND DOWNSPOUTS TO REMAIN.

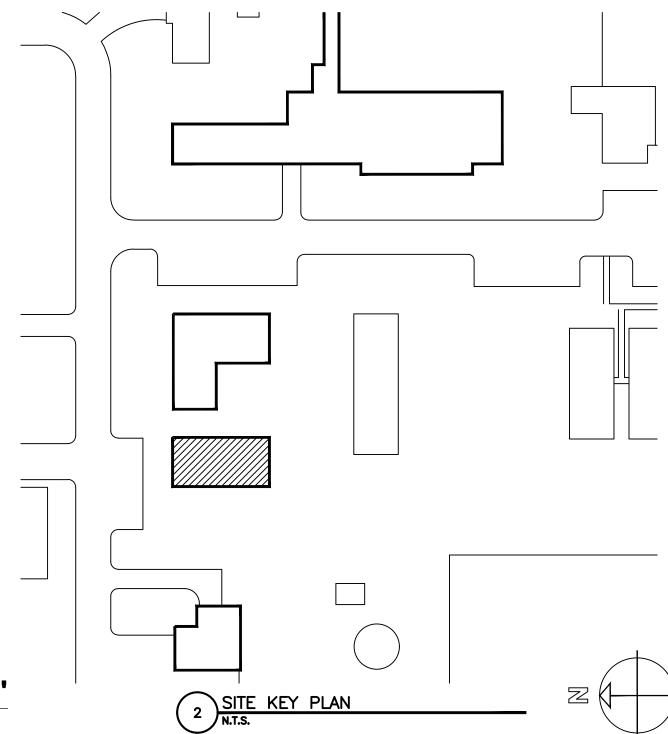
# DEMOLITION KEY NOTES:

- REMOVE AND PROPERLY DISPOSE OF ALL EXISTING SHINGLES, EXISTING UNDERLAYMENTS, EXISTING FLASHINGS AND FASTENERS DOWN TO THE EXISTING WOOD DECK, UNLESS NOTED OTHERWISE.
- 2 ONCE EXISTING ROOFING IS REMOVED, CAREFULLY INSPECT ALL EXISTING WOOD DECK FOR
- 3 HATCHING INDICATES EXISTING GUTTERS AND DOWNSPOUTS TO BE DEMOLISHED.

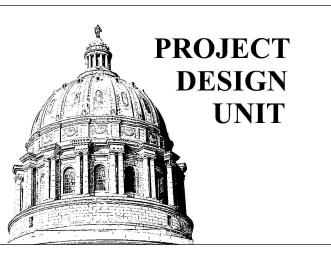
# NEW ROOFING KEY NOTES:

- NEW STANDING SEAM METAL ROOFING SYSTEM, UNDERLAYMENT, AND FLASHING OVER EXIST. WOOD DECKING ON WOOD STRUCTURAL SYSTEM. PROVIDE METAL ROOFING FLASHING/ACCESSORIES AT EXISTING VENTS AND ELECTRICAL/MECHANICAL EQUIPMENT TO MATCH METAL ROOFING SYSTEM.
- B HATCHING INDICATES AREAS TO PROVIDE AND INSTALL 36" WIDE STRIP OF SELF ADHERING ICE DAM UNDERLAYMENT PROTECTION MEMBRANE AT EAVES, RAKES, RIDGES, HIPS VALLEYS AND OTHER AREAS INDICATED ON THIS DRAWING AND SPECIFICATIONS. RE: DETAILS ON SHEET A-501 AND SPECIFICATIONS.
- C NOT USED.
- D NOT USED.
- PROVIDE AND INSTALL NEW VENT PIPE FLASHING AS PER SPECIFICATIONS & DETAIL 6/A-501
- ROOF NUMBER SIGNAGE SECURE TO STANDING SEAM METAL ROOF PER MANUFACTURER SO AS NOT TO VOID WARRANTY. COORDINATE SIGNAGE WITH OWNER. SHALL BE 36"x36" SQUARE. THE BUILDING NUMBER AND SHALL BE BLACK WITH A REFLECTIVE WHITE BACKGROUND. FONT SIZE SHALL FIT 36"x36" SIGN.
- G NEW 6"x6" PREFINISHED METAL GUTTERS AND DOWNSPOUTS TO GRADE.
- EXISTING EQUIPMENT TO BE REMOVED INFILL LOCATION WITH 3/4" PLYWOOD DECKING SCREWED TO EXISTING STRUCTURAL SYSTEM JOISTS.
- ightarrow PROVIDE SNOW GUARDS ABOVE DOOR AND ENTRY LOCATIONS 60" ON EITHER SIDE.
- K NOT USED.
- PROVIDE AND INSTALL VENTED RIDGE VENTS. RE: 3/A-501.





STATE OF MISSOURI MICHAEL L. PARSON, GOVERNOR



OFFICE OF ADMINISTRATION DIVISION OF FACILITIES MANAGEMENT, DESIGN AND CONSTRUCTION

DEPARTMENT OF CORRECTIONS

REPLACE ROOFS MULTIPLE ASSETS

OZARKS CORRECTIONAL CENTER 929 HONOR CAMP LANE

PROJECT # C2004-01

FORDLAND, MO 65652

SITE # 7003

ASSET # 9327003017-ADMINISTRATION

REVISION:	
DATE:	
2112	
REVISION:	
DATE:	
REVISION:	
DATE:	

CAD DWG FILE:CB
DRAWN BY: CB
CHECKED BY: BMS
DESIGNED BY: BMS

ISSUE DATE: 3/17/2023

SHEET TITLE:

ADMINISTRATION
BUILDING
ROOF PLAN

SHEET NUMBER:

A-103

DATE: 3/17/2023

NOTE: ALL WORK INCLUDED FOR ADMINISTRATION BUILDING WILL BE BID AS "ALTERNATE #2"

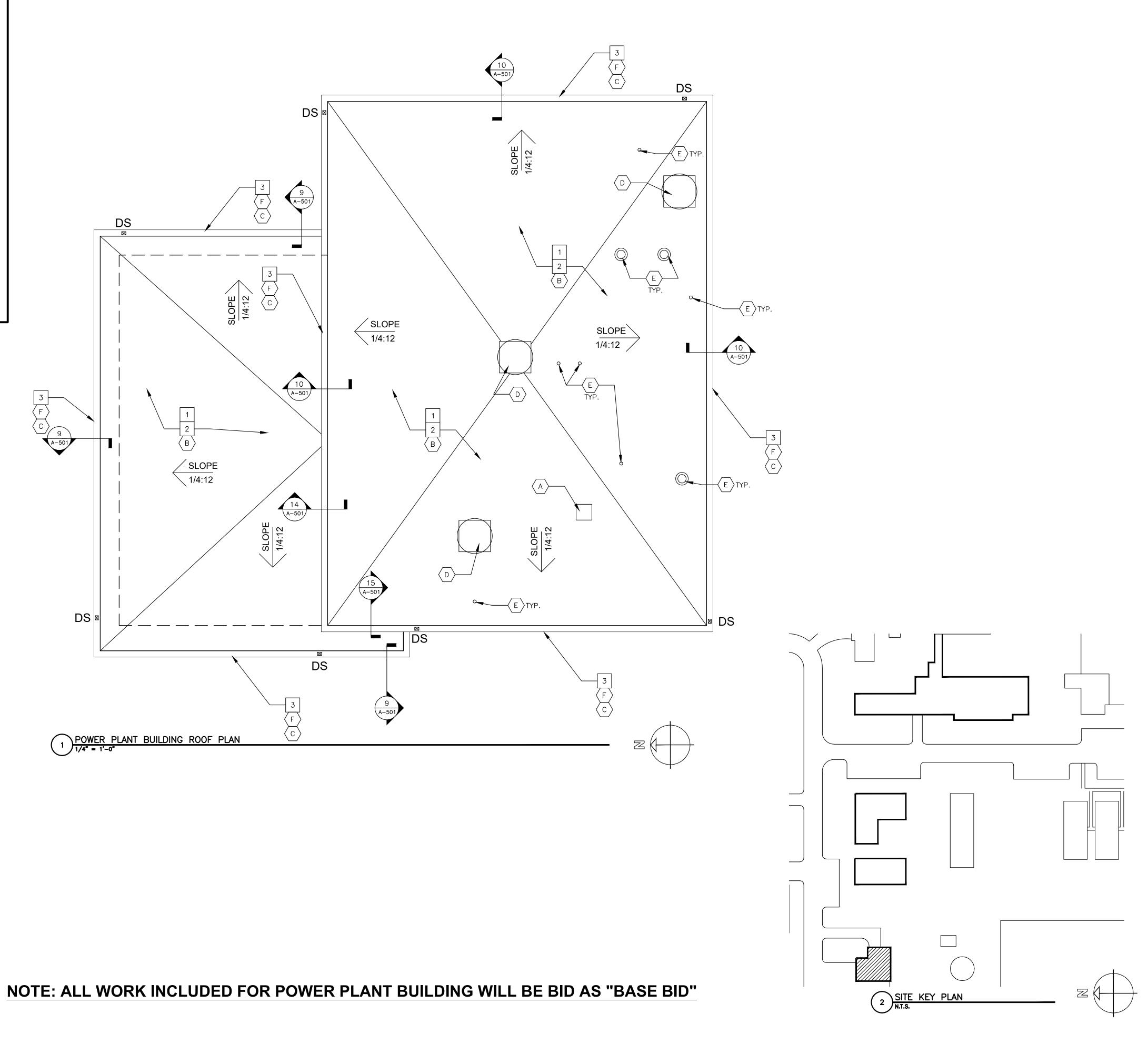
### **HAZARDOUS MATERIAL NOTES:**

- 1 ASBESTOS CAULK WAS IDENTIFIED. AVOID CONTACT WITH THIS ASBESTOS MATERIAL. DO NOT SCRAPE, ABRADE OR OTHERWISE IMPACT THE ASBESTOS.
- THE LOCATIONS OF WASTE DISPOSAL CONTAINERS SHALL BE FIELD VERIFIED WITH THE CORRECTIONAL CENTER AND/OR THE CORRECTIONAL CENTER'S REPRESENTATIVE.
- REFER TO SPECIFICATIONS FOR REQUIREMENTS FOR HAZARDOUS MATERIAL ABATEMENT.

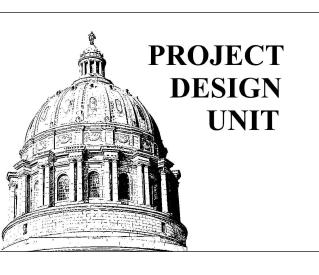
### **GENERAL ROOFING NOTES:**

- I. ALL ROOFING SHALL BE DONE IN ACCORDANCE WITH THE LATEST ADDITION OF THE NATIONAL ROOFING CONTRACTORS ASSOCIATION (NRCA) ROOFING MANUAL AND ASHRAE AS IT SIMILARLY RELATES TO ARCHITECTURAL METAL ROOFING AND EQUIPMENT.
- 2. EXISTING CONDITIONS AND DIMENSIONS AS SHOWN ON THESE DRAWINGS ARE APPROXIMATIONS. ACTUAL CONDITIONS AND DIMENSIONS MAY VARY. CONTRACTORS SHALL VERIFY EXISTING CONDITIONS AND DIMENSIONS TO THE EXTENT THAT IT WOULD MAKE A DIFFERENCE TO THEIR BID. NO ADDITIONAL COST TO THE OWNER WILL BE CONSIDERED BASED UPON ANY MINOR VARIATIONS.
- THE CONTRACTOR IS TO VISIT THE SITE DURING THE BIDDING PERIOD AND IS TO ADVISE THE ARCHITECT OF ANY SITUATION OR DISCREPANCY WHICH WILL NOT ALLOW SUCCESSFUL COMPLETION OF THE WORK.
- 4. ALL ROOF SLOPES ARE APPROXIMATELY 1/4":12 UNLESS OTHERWISE INDICATED ON DRAWINGS.
- 5. DEMOLITION SHALL INCLUDE THE COMPLETE REMOVAL OF EPMD, INSULATION, COVERBOARD, UNDERLAYMENTS, FASTENERS, & FLASHINGS AS INDICATED DOWN TO THE EXISTING DECK. PROPERLY DISPOSED OF ALL HAZARDOUS MATERIALS & ALL MATERIALS WHICH ARE NOT MEANT TO BE REUSED.
- 6. CONTRACTOR IS RESPONSIBLE FOR ANY INCIDENTAL DAMAGE DONE TO BUILDING AND GROUNDS DURING COURSE OF DEMOLITION AND CONSTRUCTION AND SHALL RESTORE BUILDING AND GROUNDS TO EXISTING CONDITIONS UPON COMPLETION OF ROOFING PROJECT.
- 7. CONTRACTOR SHALL THOROUGHLY CLEAN ROOF AND SITE UPON COMPLETION OF PROJECT. PICK-UP, REMOVE AND PROPERLY DISPOSE OF ALL FASTENERS, DEBRIS AND SCRAP MATERIALS.
- 8. ALL MANUFACTURED ARTICLES, MATERIALS AND EQUIPMENT SHALL BE APPLIED, INSTALLED, CONNECTED ERECTED, CLEANED AND CONDITIONED AS DIRECTED BY THE MANUFACTURER, UNLESS INDICATED OTHERWISE.
- 9. THE CONTRACTOR SHALL COORDINATE WITH THE FACILITY TO ESTABLISH PROCEDURES FOR THE CONTROLLED ENTRY OF MEN AND MATERIALS INTO THE WORK AREA AND SHALL COMPLY WITH ALL RULES AND REGULATIONS ESTABLISHED BY THE FACILITY. THE INTERRUPTION OF SECURITY AND COMMUNICATIONS WILL NOT BE PERMITTED. CONTRACTOR SHALL INFORM AND COORDINATE WITH SECURITY OFFICIALS 48 HOURS IN ADVANCE OF ANY WORK RELATED TO SECURITY OR COMMUNICATIONS.
- 10. AT MECHANICAL/ELECTRICAL ROOF EQUIPMENT AND VENTS, PROVIDE FLASHING PER ROOFING MFGR. FOR WATERTIGHT ROOF INSTALLATION.
- 11. EXISTING GUTTERS AND DOWNSPOUTS TO REMAIN.

# **DEMOLITION KEY NOTES:** 1 REMOVE AND PROPERLY DISPOSE OF ALL EXISTING EPDM ROOF, INSULATION, ☐ COVERBOUARD, EXISTING UNDERLAYMENTS, EXISTING FLASHINGS AND FASTENERS DOWN TO THE EXISTING DECK, UNLESS NOTED OTHERWISE. 2 ONCE EXISTING ROOFING IS REMOVED, CAREFULLY INSPECT ALL EXISTING DECK FOR DAMAGE OR ROT. 3 EXISTING GUTTERS AND DOWNSPOUTS TO BE REMOVED. NEW ROOFING KEY NOTES: ADHERE ROOF NUMBER SIGNAGE SECURE TO STANDING SEAM METAL ROOF PER MANUFACTURER SO AS NOT TO VOID WARRANTY. COORDINATE SIGNAGE WITH OWNER. SHALL BE 36"x36" SQUARE. THE BUILDING NUMBER AND SHALL BE BLACK WITH A REFLECTIVE WHITE BACKGROUND. FONT SIZE SHALL FIT 36"x36" SIGN. NEW FULLY ADHERED TPO ROOF ON COVERBOARD ON 1/4"/FT TAPERED INSULATION ON AVERAGE R-30 RIGID POLYISO ROOF INSULATION. RE: 7/A-501. EXISTING GUTTER AND DOWNSPOUT TO BE REMOVED AND REINSTALLED. EXISTING EQUIPMENT, COORDINATE FOR REQUIRED REMOVAL/REINSTALLATION FOR ROOFING REPLACEMENT, FLASH CURBS PER ROOF MFGR RECOMMENDATIONS. FLASH EXISTING VENT PIPING - TYPICAL 16 SS FLASHING. RE: 11/A-501. NEW FLASHING AND DRIP EDGE ON PERIMETER OF ROOF. TYPICAL. RE: 12/A-501.



STATE OF MISSOURI MICHAEL L. PARSON, GOVERNOR



OFFICE OF ADMINISTRATION DIVISION OF FACILITIES MANAGEMENT, DESIGN AND CONSTRUCTION

DEPARTMENT OF CORRECTIONS

REPLACE ROOFS
MULTIPLE ASSETS
OZARKS CORRECTIONAL
CENTER
929 HONOR CAMP LANE

FORDLAND, MO 65652

PROJECT # C2004-01 SITE # 7003

ASSET#

9327003033-POWER PLANT

REVISION:
DATE:
REVISION:
DATE:
REVISION:
DATE:
REVISION:
DATE:
ISSUE DATE: 3/17/2023

CAD DWG FILE:CB
DRAWN BY: CB
CHECKED BY: BMS

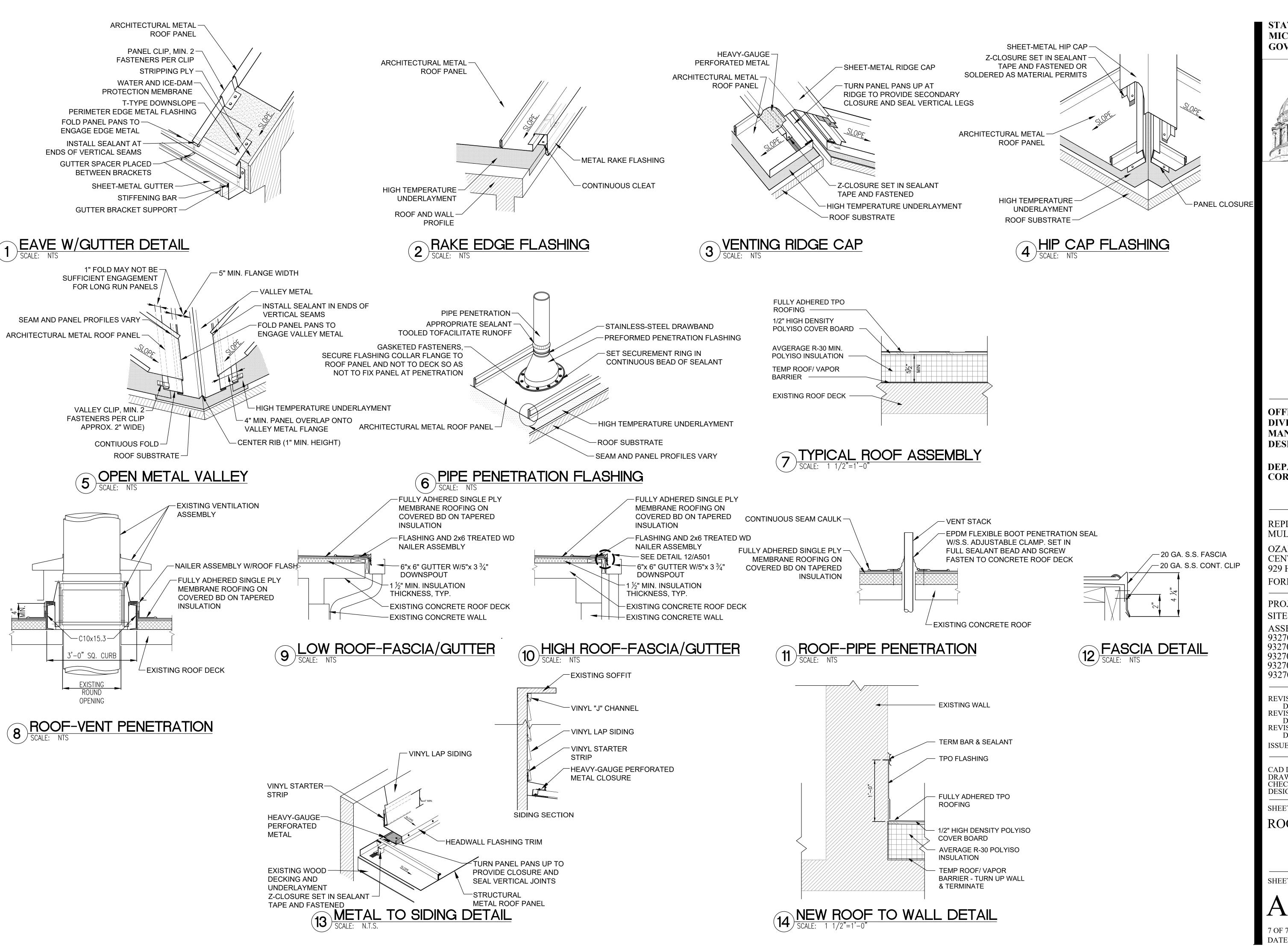
DESIGNED BY: BMS

SHEET TITLE:

POWER
PLANT
ROOF PLAN

SHEET NUMBER:

A-104



STATE OF MISSOURI MICHAEL L. PARSON, GOVERNOR



OFFICE OF ADMINISTRATION DIVISION OF FACILITIES MANAGEMENT, DESIGN AND CONSTRUCTION

DEPARTMENT OF CORRECTIONS

REPLACE ROOFS MULTIPLE ASSETS

OZARKS CORRECTIONAL CENTER 929 HONOR CAMP LANE

929 HONOR CAMP LANI FORDLAND, MO 65652

PROJECT # C2004-01

SITE # 7003 ASSET #

9327003025-FOOD SERVICE 9327003018-RECORDS AND P&P 9327003017-ADMINISTRATION 9327003019-SEGREGATION 9327003033-POWER PLANT

REVISION:
DATE:
REVISION:
DATE:
REVISION:
DATE:

CAD DWG FILE:CB

DRAWN BY: CB
CHECKED BY: BMS
DESIGNED BY: BMS

SHEET TITLE:

ROOF DETAILS

SHEET NUMBER:

A-501