

ADDENDUM NO. 2

TO: PLANS AND SPECIFICATIONS FOR STATE OF MISSOURI

**Farmington Correctional Center,
Replace Roofs & Tuckpoint Exterior Masonry,
Control Center & Treatment Center II
1430 Doubet Road
Farmington, MO 63640
PROJECT NO. C2504-01**

Bid Opening Date: 1:30 PM, November 18, 2025 (Not Changed)

Bidders are hereby informed of the following:

SPECIFICATION CHANGES:

1. Unit Prices – 012200 – 2
 - a. Updated 3.1, A, 3: For clarification, Base Bid Quantity: 6,234 SF.
 - b. Updated 3.1, B, For clarification, revised, Base Bid Quantity: 1,409 LF and added Note.
 - c. Updated 3.1, C, 3: For clarification, Base Bid Quantity: 103 LF.
 - d. Updated 3.1, Added E, Unit Price No. 5
2. Alternates – 012300 -3
 - a. Updated 3.1, F: For clarification, added Alternate #5 for metal parapet cap.
3. Asbestos – 028213 -1
 - a. Updated 1.5, A, 1: Abatement contractor verbiage has been clarified.
4. Standing-Seam Metal Roof Panels – 074113-4, 074113-5
 - a. Updated 2.2, B: Substitution request for DMI standing seam metal roof panel system has been accepted. Specification has been updated to note that this metal roof panel system is the basis of design as this metal panel product has been used on buildings #16, #17 and #32.

DRAWING CHANGES:

1. TUCKPOINTING ALTERNATE PHASING PLAN - TREATMENT CENTER 25, A004
 - a. Detail 1: Add Alternate #5 (metal coping cap) to roof plan.
2. MASONRY DETAILS, A206
 - a. Detail 9: Removed notes regarding unit pricing.

3. DETAILS – ROOF, A501

- a. Detail 8: Revised cap stone note to include replacement requirements.
- b. Detail 9: Defined metal cap detail to Alternate #5.

BIDDER QUESTIONS AND RESPONSES:

1. Can you provide an estimated time of how long it will take to check in and out the multiple trades through the sallyport on a daily basis. Roofers, Masonry, and Abatement contractors, etc.?
Answer: It takes about 10 to 15 minutes to enter or exit the Sallyport.
2. What are the working hours in the institution.
Answer: 7:00 am to 3:30 pm (We can accommodate 10-hour shifts if needed)
3. What time will the sallyport open in the mornings and what time does the contractor need to be checked out of the sallyport in the afternoon?
Answer: Sallyport 1 is open when we ask for it to be open, Sallyport 2 is open from 7:00 am to 3:00pm and Sallyport 3 is open 24 hrs.
4. If the alternates are accepted can the contractor work on multiple building elevations at a time?
Answer: Yes, multiple buildings can be worked on at the same time for façade work. However, the roof work should be done per the phasing plan listed on sheet A002.
5. How many contractor employees will be allowed access in the secure areas on a daily basis. Is there a max number of employees per FCC escorts?
Answer: All contractor employees must follow the background check requirements. The amount of contractor employees per FCC escort shall be shared. However, advance notice of contractor employees on site must be shared with facilities days and weeks ahead to allow for proper FCC planning.
6. Is there a maximum number of arial lifts that can be brought into the secure area?
Answer: No.
7. Can a quantity be given for the square foot of 1" out of plane brick to be removed and replaced and have a unit price.
Answer: Contractor to field verify all masonry locations requiring work. Drawings A201, A202, A203 and A204 identify the locations where brick is 1" out of plane. The area of brick work, as shown in the drawings, equals: 6,234 sf of brick.

However, for areas where wall is 1" of out plane, existing brick shall be removed and reinstalled. Contractor to field verify any areas requiring brick replacement.
8. Can a quantity be given for the number of damaged bricks to be replaced. Plan sheet A206, note 9, says bricks to be replaced and deducted from unit price allowance. I did not see a unit price in specifications for brick replacement.
Answer: Contractor to field verify all masonry locations requiring work. Detail 9/A206 has been updated to remove note about unit price. See answer #7.
9. During the site visit it was noted that there were several areas of damaged capstones, do these areas need to be repaired?
Answer: Where capstone is cracked or where delamination occurs, the parapet cap stone shall be replaced. See Detail 8/A501.

10. Is the lintel replacement the only scope of work considered to be in the base bid? Are all other general notes and keynotes for the masonry cleaning, tuckpointing, sealants and brick repairs considered to be scopes of work performed under the alternates?
Answer: Per 012300 - 2, Masonry tuckpointing work at Building #12 to be performed by Farmington Facilities. Lintel replacement work is part of Base bid to be performed by Contractor. All other masonry work to be performed under the alternates.
11. Is the abatement of the window sealant part of the base bid or alternates?
Answer: Yes, this is part of the base bid.
12. Can you address the Third-Party air monitoring in spec section 1.5 A.1. It was discussed that the state or architect will provide the third-party daily air monitoring.
The abatement contractor will be only required to cover his own OSHA air monitoring and can perform this himself.
Answer: The contractor will be responsible for providing third party monitoring. The State nor the Architect will be responsible for providing third party monitoring. See specification changes for 3rd party specification clarification.
13. Bldg. #12 Does the SOW cover tuckpointing the entire Bldg. or just enough to cover the Roof Warranty?
Answer: The tuckpointing work at building 12 will be provided by Farmington Facilities. See 012300-2. Tuckpointing necessary to cover the roof warranty (and installation) is the responsibility of the Contractor.
14. Bldg. #25 Does the SOW cover tuckpointing the entire Bldg. or just enough to cover the Roof Warranty?
Answer: See #13. However, all masonry work at building 25 will be performed by Contractor based on alternates.
15. Bldg. #25 does the Base bid cover the TPO wrapping over the top with no Cap?
Answer: Yes. At building #25, the base bid shall be wrapping the parapet with a TPO membrane and finish with a termination bar as noted in 9/A501.

See alternate #5 metal coping cap detail in 9/A501.
16. Please clarify Base Bid Amount, Documents show 6,2341 sq. ft.
Answer: Quantity is 6,234 SF
17. There is no Base Bid qty. this work seems like it would be an Alt. or part of Base Bid. The Facility was under the impression the TPO would just wrap over the top with no cap.
Answer: Base bid is TPO over parapet.
18. Base Bid 10%, 103 In ft. Which is it?
Answer: Quantity is 103 LF

GENERAL:

1. Please contact Mandy Roberson, Contract Specialist, at 573-522-0074 or Mandy.Roberson@oa.mo.gov for questions about bidding procedures, MBE/WBE/SDVE Goals, and other submittal requirements.
2. The deadline for technical questions was November 5th, 2025, at Noon.
3. Changes to, or clarification of, the bid documents are only made as issued in the addenda.

4. All correspondence with respect to this project must include the State of Missouri project number as indicated above.
5. Current Plan Holders list available online at: [Bid Listing/ Electronic Plans \(Projects Currently Bidding\) | Office of Administration \(mo.gov\)](#) C250401 - Farmington Correctional Center-Replace Roofs & Tuckpoint Exterior Masonry, Control Center & Treatment Center II.
6. Prospective Bidders contact American Document Solutions, 1400 Forum Blvd Suite 7A, Columbia MO 65203, 573-446-7768 to order official plans and specifications.
7. All bids shall be submitted on the bid form without additional terms and conditions, modifications, or stipulations. Each space on the bid form shall be properly filled including a bid amount for the alternates. Failure to do so will result in rejection of the bid.
8. MBE/WBE/SDVE participation requirements can be found in DIVISION 00. The MBE/WBE/SDVE participation goals are 0%/0%/3%, respectively. Only certified firms as of the bid opening date can be used to satisfy the MBE/WBE/SDVE participation goals for this project. If a bidder is unable to meet a participation goal, a Good Faith Effort Determination Form must be completed. Failure to complete this process will result in rejection of the bid.

ATTACHMENTS:

1. Specification Pg., 012200-2 – Unit Prices
2. Specification Pg., 012300-3 - Alternates
3. Specification Pg., 028213-1 – Asbestos Abatement
4. Specification Pg., 074113-4, 5 – Standing-Seam Metal Roof Panels
5. Unit Price Form 004322
6. Sheet A004
7. Sheet A206
8. Sheet A501

By the Order of:

Fred L. Decker Jr., Project Manager
Division of Facilities Management,
Design and Construction
November 12, 2025

END ADDENDUM NO. 2

PART 3 - EXECUTION**Addendum #2****3.1 LIST OF UNIT PRICES****A. Unit Price No.1:**

1. Description: Grinding or raking out deteriorated mortar (usually to ¾" depth), Cleaning joints, Repointing with new mortar (matched to original in color and tooling), Light cleaning of wall face according to Division 04 Section "040127 – Repointing with Cement-Lime Mortar"
2. Unit of Measurement: Square Feet.
3. Base Bid Quantity: 6,234 SF.

B. Unit Price No. 2:

1. Description: Fabrication and installation of 2-piece metal parapet cap (typically gauge prefinished steel or aluminum), Continuous cleats and clips (Z-closure or cleated),
2. Sealant at joints and edges according to Division 07 Section "076200 – Sheet Metal Flashing and Trim."
3. Unit of Measurement: Linear Feet.
4. Base Bid Quantity: 1,409.

Note: At building 12, this is base bid system. At Building 25, this is alternate #5 See 012300.

C. Unit Price No. 3:

1. Description: Wood blocking anchored to parapet top via fasteners where rotted wood exists according to Division 06 Section "061000 – Rough Carpentry."
2. Unit of Measurement: Linear Feet.
3. Base Bid Quantity: 103 Linear Feet.

D. Unit Price No.4:

1. Description: Replacement of damaged wood sheathing under existing shingle roof. according to Division 06 Section "061000 – Rough Carpentry."
2. Unit of Measurement: Square Feet.
3. Base Bid Quantity: 2,455 SF.

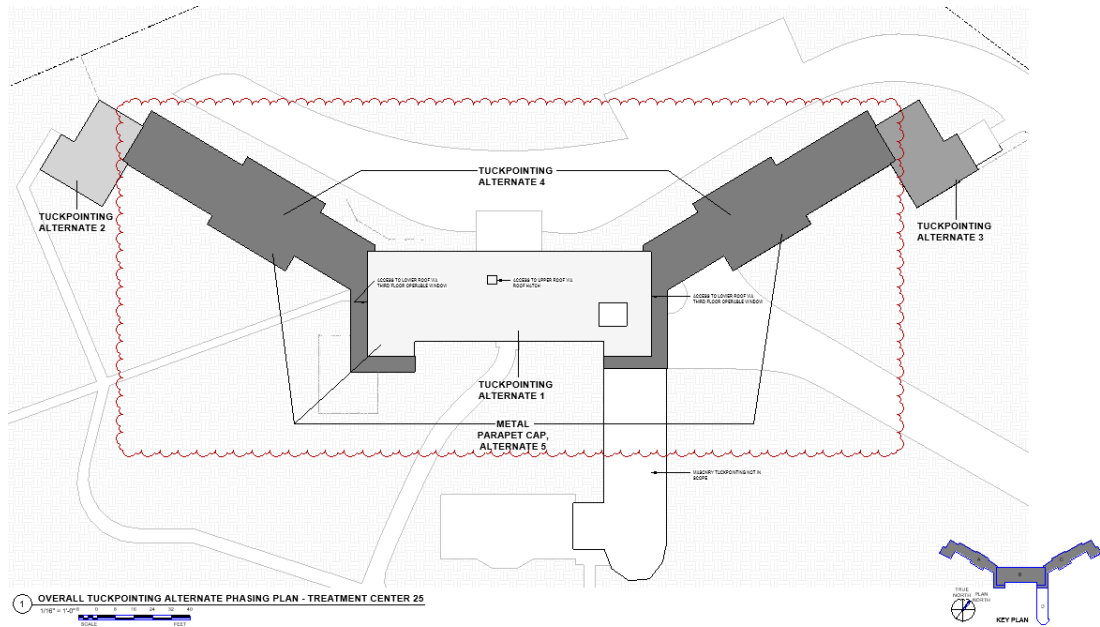
E. Unit Price No.5:

1. Description: Installation of TPO roof membrane over parapet wall, top of parapet wall and over the exterior edge of roof parapet. Terminate roof membrane with metal parapet edge. Sealant at joints and edges according to Division 07 Section "076200 – Sheet Metal Flashing and Trim."
2. Unit of Measurement: Square Feet.
3. Base Bid Quantity: 1,409 SF.

END OF SECTION 012200

area. Refer to Sheet A004 (Alternate Plan) and the A200 series drawings for the specific locations of major masonry and general maintenance work.

1. Alternate snippet from Sheet A004:



- F. **Alternate No. 5** includes fabrication and installation of 2-piece metal parapet cap (typically 24-gauge prefinished steel or aluminum), Continuous cleats and clips (Z-closure or cleated) at all parapet caps at building 25 only.

END OF SECTION 012300

1. GENERAL

1.1 WORK INCLUDES

A. Base Bid Work –

The abatement contractor is responsible for providing labor, materials and disposal for the removal of asbestos containing caulk on the lead-based paint covered window lintels as shown on the drawing.

Abatement contractor is responsible for the abatement of all asbestos containing caulk remaining on the building after lintel removal by manual methods.

Work is to be performed utilizing methods following all MDNR, EPA and OSHA rules and regulations.

1.2 SCHEDULE

A. Coordinate abatement schedule with General Contractor.

1.3 OTHER WORK

A. By Others

1. Owner and General Contractor

- a. Owner shall remove all moveable equipment, desks, chairs, window dressings, etc. prior to commencement of project.
- b. Coordinate the removal of staff/personnel/occupants from interior areas while work is occurring.

1.4 REGULATORY REQUIREMENTS

A. State Requirements:

1. MDNR – Missouri Department of Natural Resources

B. Federal Requirements:

1. NESHAP - National Emissions Standards for Hazardous Air Pollutants.
2. OSHA - Occupational Safety and Health Administration, 200 Constitution Avenue, Washington, DC 20210.

1.5 FIELD QUALITY CONTROL

A. Environmental Consultant:

1. Abatement Contractor is to employ a Third-Party Air Monitoring for air monitoring as required by MDNR rules and regulations.

B. Abatement Contractor:

1. Provide air monitoring of own personnel. Provide a copy of all results to the APM within 24 hours.

- G. FM Global Listing: Provide metal roof panels and component materials that comply with requirements in FM Global 4471 as part of a panel roofing system and that are listed in FM Global's "Approval Guide" for Class 1 or noncombustible construction, as applicable. Identify materials with FM Global markings.
1. Fire/Windstorm Classification: Class 1A-120.
 2. Hail Resistance: SH.
- H. Thermal Movements: Allow for thermal movements from ambient and surface temperature changes by preventing buckling, opening of joints, overstressing of components, failure of joint sealants, failure of connections, and other detrimental effects. Base calculations on surface temperatures of materials due to both solar heat gain and nighttime-sky heat loss.
1. Temperature Change (Range): 120 deg F (67 deg C), ambient; 180 deg F (100 deg C), material surfaces.

2.2 STANDING-SEAM METAL ROOF PANELS

- A. General: Provide factory-formed metal roof panels designed to be installed by lapping and interconnecting raised side edges of adjacent panels with joint type indicated and mechanically attaching panels to supports using concealed clips in side laps. Include clips, cleats, pressure plates, and accessories required for weathertight installation.
1. Steel Panel Systems: Unless more stringent requirements are indicated, comply with ASTM E 1514.
 2. Aluminum Panel Systems: Unless more stringent requirements are indicated, comply with ASTM E 1637.
- B. Vertical-Rib, Snap-Joint, Standing-Seam Metal Roof Panels: Formed with vertical ribs at panel edges and intermediate stiffening ribs symmetrically spaced between ribs; designed for sequential installation by mechanically attaching panels to supports using concealed clips located under one side of panels, engaging opposite edge of adjacent panels, and snapping panels together.

1. Basis of Design: DMI, Dimensional Metals Inc. Architectural Panel "Inter-Lock IL20". Standing seams shall incorporate a continuous engineered interlocking connection with concealed anchor clips that prevents the entrance of water passage (select for engineered snap-together panels).
2. Manufacturers: Subject to compliance with requirements, available manufacturers offering products that may be incorporated into the Work include, but are not limited to, the following:

- a. DMI, Dimensional Metals Inc.
- b. Berridge Manufacturing Company.
- c. CENTRIA Architectural Systems.
- d. Petersen Aluminum Corporation.

3. Metallic-Coated Steel Sheet: Zinc-coated (galvanized) steel sheet complying with ASTM A 653/A 653M, G90 (Z275) coating designation, or aluminum-zinc alloy-coated steel sheet complying with ASTM A 792/A 792M, Class AZ50 (Class AZM150) coating

designation; structural quality. Prepainted by the coil-coating process to comply with ASTM A 755/A 755M.

- a. Nominal Thickness: 0.022 inch (0.56 mm).
- b. Color: Match Post standard color
- 4. Clips: Two-piece floating to accommodate thermal movement.
 - a. Material: 0.028-inch- (0.71-mm-) nominal thickness, zinc-coated (galvanized) or aluminum-zinc alloy-coated steel sheet.



2.3 UNDERLAYMENT MATERIALS

- A. Self-Adhering, High-Temperature Underlayment: Provide self-adhering, cold-applied, sheet underlayment, a minimum of 30 mils (0.76 mm) thick, consisting of slip-resistant, polyethylene-film top surface laminated to a layer of butyl or SBS-modified asphalt adhesive, with release-paper backing. Provide primer when recommended by underlayment manufacturer.
 - 1. Thermal Stability: Stable after testing at 240 deg F (116 deg C); ASTM D 1970.
 - 2. Low-Temperature Flexibility: Passes after testing at minus 20 deg F (29 deg C); ASTM D 1970.
 - 3. Products: Subject to compliance with requirements, available products that may be incorporated into the Work include, but are not limited to, the following:
 - a. Carlisle Residential, a division of Carlisle Construction Materials; WIP 300HT.
 - b. Grace Construction Products, a unit of W. R. Grace & Co.; Ultra.
 - c. Owens Corning; WeatherLock Metal High Temperature Underlayment.
- B. Slip Sheet: Manufacturer's recommended slip sheet, of type required for application.

2.4 MISCELLANEOUS MATERIALS

- A. Miscellaneous Metal Subframing and Furring: ASTM C 645; cold-formed, metallic-coated steel sheet, ASTM A 653/A 653M, G90 (Z275 hot-dip galvanized) coating designation or ASTM A 792/A 792M, Class AZ50 (Class AZM150) coating designation unless otherwise indicated. Provide manufacturer's standard sections as required for support and alignment of metal panel system.
- B. Panel Accessories: Provide components required for a complete, weathertight panel system including trim, copings, fasciae, mullions, sills, corner units, clips, flashings, sealants, gaskets, fillers, closure strips, and similar items. Match material and finish of metal panels unless otherwise indicated.
 - 1. Closures: Provide closures at eaves and ridges, fabricated of same metal as metal panels.
 - 2. Backing Plates: Provide metal backing plates at panel end splices, fabricated from material recommended by manufacturer.

1.0 Description

- A. For changing specified quantities of work from those indicated by the contract drawings and specifications, upon written instructions of Owner, the following unit prices shall prevail. The unit prices include all labor, overhead and profit, materials, equipment, appliances, bailing, shoring, shoring removal, etc., to cover the finished work of the several kinds of work called for. Only a single unit price shall be given and it shall apply for either MORE or LESS work than that shown on the drawings and called for in the specifications or included in the Base Bid. In the event of more or less units than so indicated or included during construction the total contract price shall be decreased as appropriate or increased by contract change in accordance with General Conditions Article 4.1.

2.0 Unit Prices**A. Unit Price No. 1 – Name: Tuckpointing**

1. Description: Grinding or raking out deteriorated mortar (usually to $\frac{3}{4}$ " depth), Cleaning joints, Repointing with new mortar (matched to original in color and tooling), Light cleaning of wall face according to Division 04 Section "040127 – Repointing with Cement-Lime Mortar"
2. Unit of Measurement: Square Feet.
3. Base Bid Quantity: 6,234 SF.

\$ _____ per square foot

B. Unit Price No. 2 – Name: 2-Piece Metal Parapet Cap

1. Description: Fabrication and installation of 2-piece metal parapet cap (typically 24-gauge prefinished steel or aluminum), Continuous cleats and clips (Z-closure or cleated),
2. Sealant at joints and edges according to Division 07 Section "076200 – Sheet Metal Flashing and Trim."
3. Unit of Measurement: Linear Feet.
4. Base Bid Quantity: 1,409 LF.

NOTE: At building 12; this is base bid system. At building 25, this is alternate #5 -See 012300.

\$ _____ per linear foot

C. Unit Price No. 3 – Name: Wood Blocking

1. Description: Wood blocking anchored to parapet top via fasteners where rotted wood exists according to Division 06 Section "061000 – Rough Carpentry."
2. Unit of Measurement: Linear Feet.
3. Base Bid Quantity: 103 LF.

\$ _____ per linear foot

D. Unit Price No. 4 – Name: Wood Sheathing

1. Description: Replacement of damaged wood sheathing under existing shingle roof. according to Division 06 Section "061000 – Rough Carpentry."
2. Unit of Measurement: Square Feet.
3. Base Bid Quantity: 2,455 SF.

\$ _____ per square foot

E. Unit Price No. 5 – Name: TPO Membrane

1. Description: Installation of TPO roof membrane over parapet wall, top of parapet wall and over the exterior edge of roof parapet. Terminate roof membrane with metal parapet edge.
Sealant at joints and edges according to Division 07 Section "076200-Sheet Metal Flashing and Trim."
2. Unit of Measurement: Linear Feet.
3. Base Bid Quantity: 1,409 LF.

\$ _____ per linear foot

MASONRY PHASING LEGEND -
TREATMENT CENTER 25

TUCKPOINTING ALTERNATE 1

TUCKPOINTING ALTERNATE 2

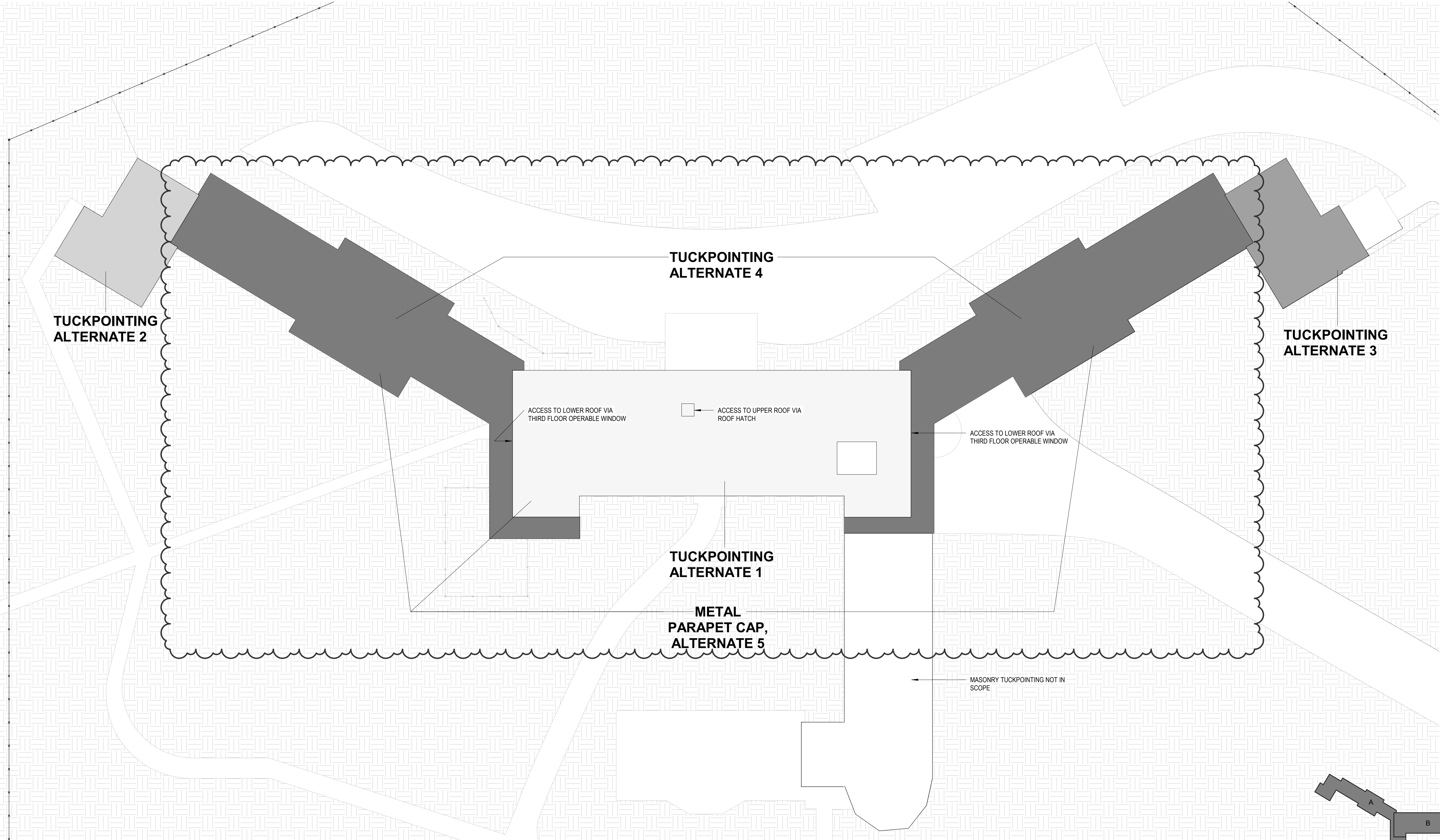
TUCKPOINTING ALTERNATE 3

TUCKPOINTING ALTERNATE 4

MASONRY TUCKPOINTING NOT IN SCOPE

GRASSY AREA

SECURITY FENCE WITH RAZOR WIRE



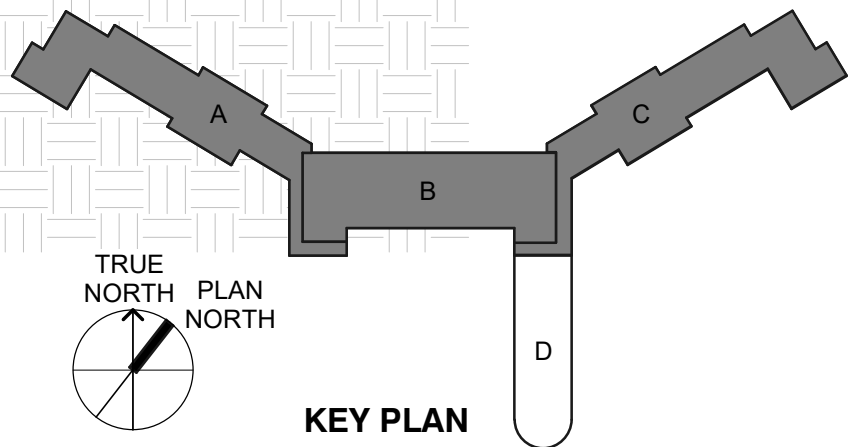
1

OVERALL TUCKPOINTING ALTERNATE PHASING PLAN - TREATMENT CENTER 25

1/16" = 1'-0"

0816243240

SCALEFEET



STATE OF MISSOURI
MIKE KEHOE,
GOVERNOR

ARCHITECTURE & ENGINEERING

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MISSOURI STATE CERTIFICATE
OF AUTHORITY #000148

STATE OF MISSOURI
BRADFORD ALAN
PIERCE
NUMBER
00000000
REGISTERED ARCHITECT

9-5-25

BRADFORD ALAN PIERCE
PROFESSIONAL SEAL #A0005805

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ADMINISTRATION
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MANAGEMENT,
DESIGN AND
CONSTRUCTION

FARMINGTON
CORRECTIONAL CENTER

FARMINGTON CORRECTIONAL
FACILITY - REPLACE ROOFS &
TUCKPOINT EXTERIOR
MASONRY, TREATMENT
CENTER 25 & CONTROL
BUILDING 12
1012 WEST COLUMBIA STREET,
FARMINGTON, MO 63640

PROJECT # C2504-01
SITE # 7008
ASSET CC# AN-9327008114
ASSES TC# AN-9327008076

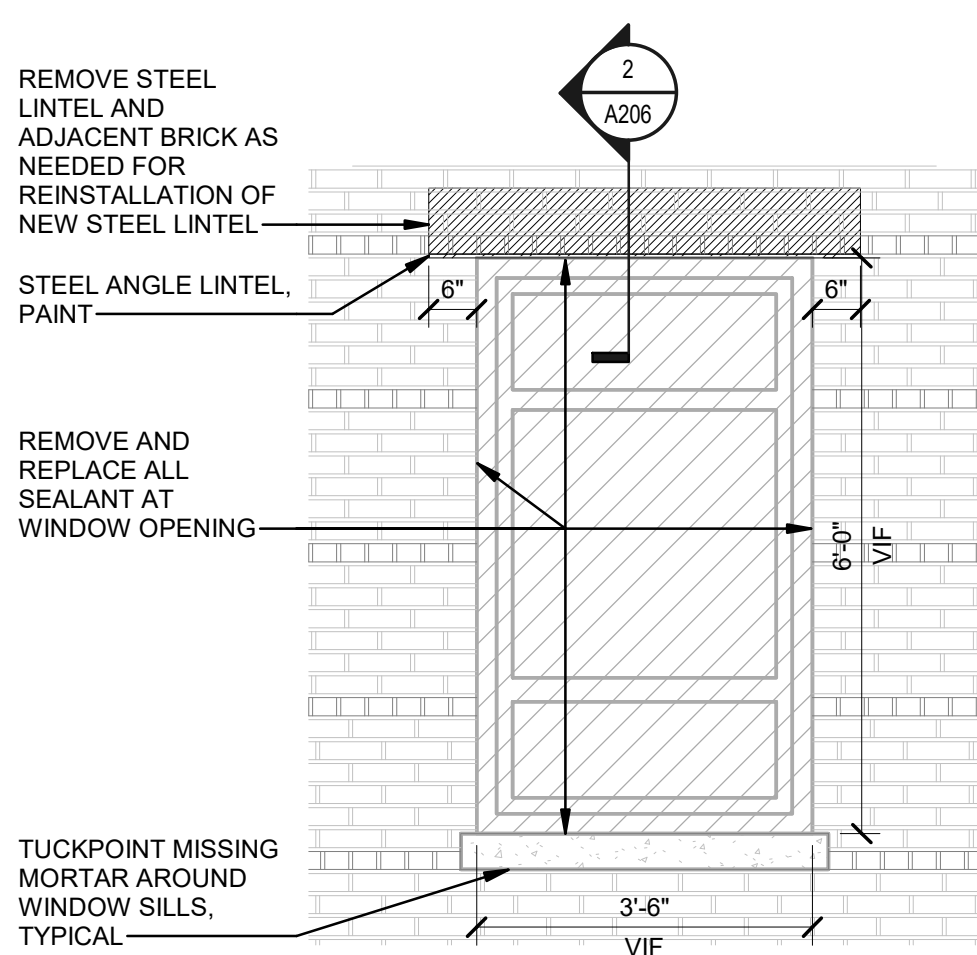
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DATE:1/17/2025
REVISION: _____
DATE: _____
REVISION: _____
DATE: _____
ISSUE DATE: 09/05/2025

CAD DWG FILE: _____
DRAWN BY: CJM/HB
CHECKED BY: BAP
DESIGNED BY: CJM

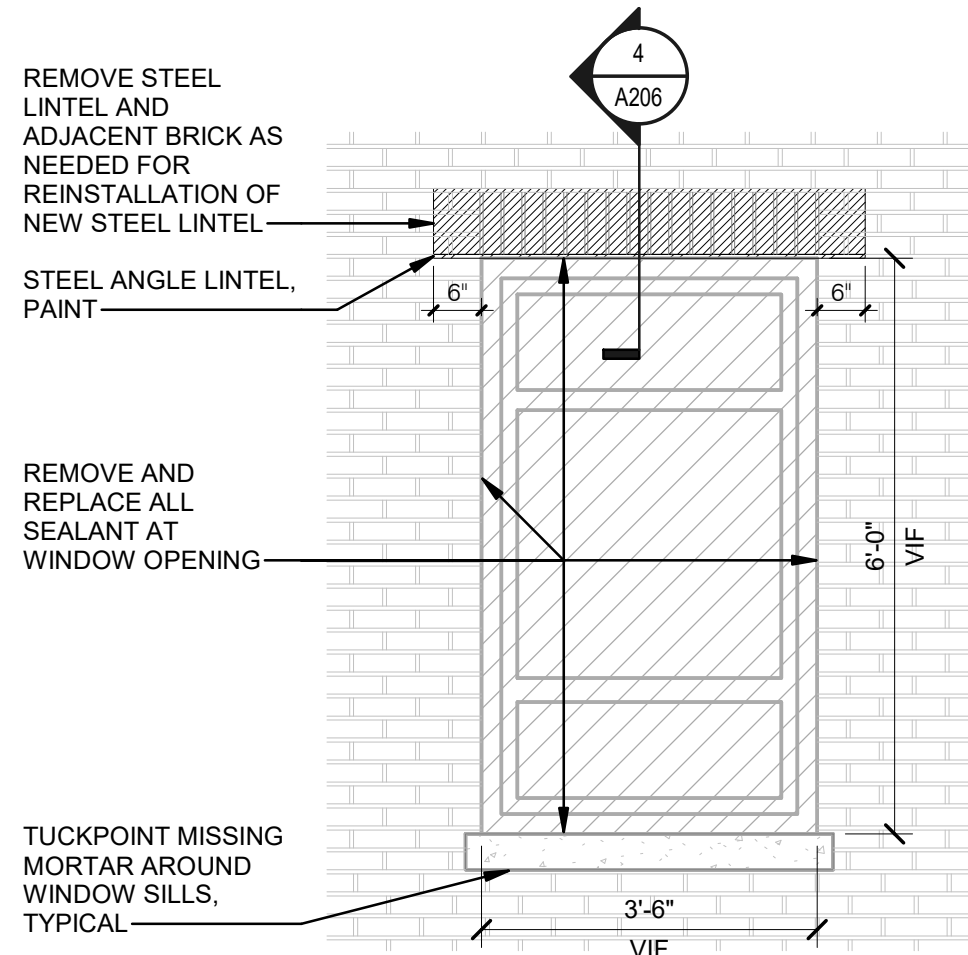
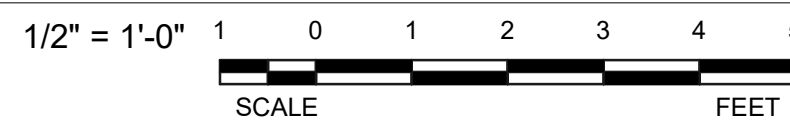
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CENTER 25

SHEET NUMBER:
A004

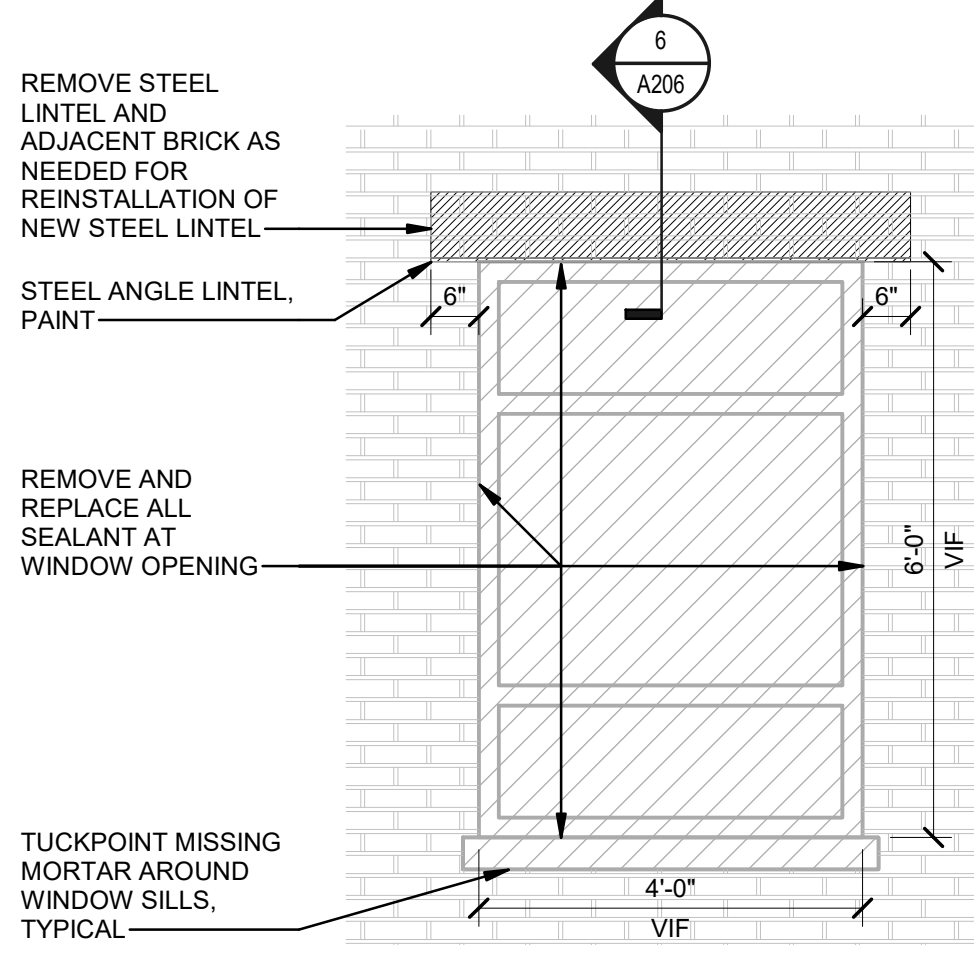
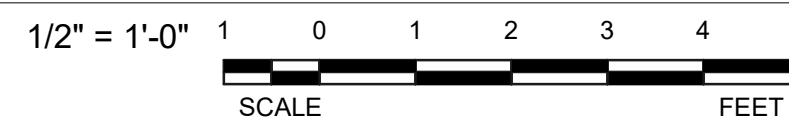
TRACING / BID DOCUMENTS



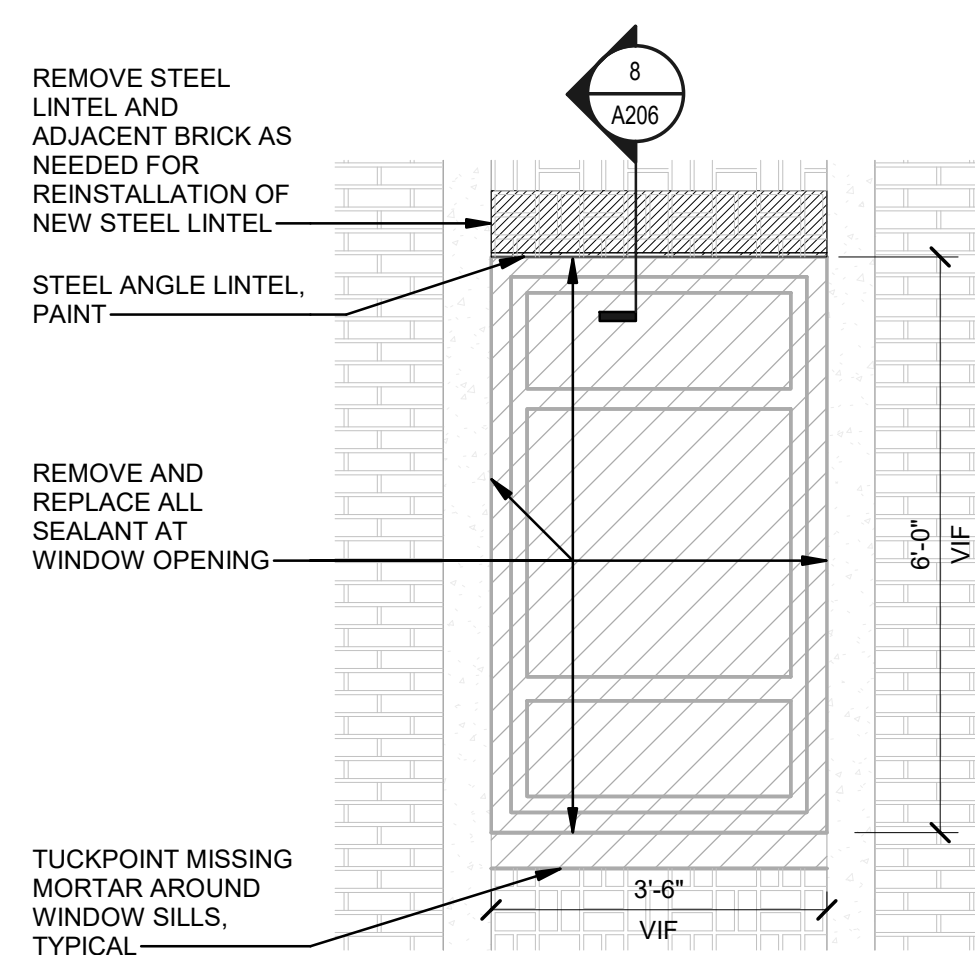
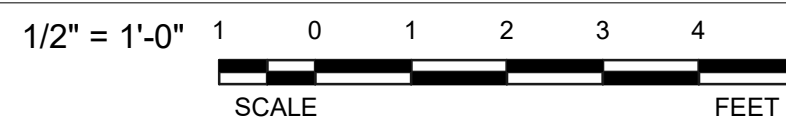
1 WINDOW ELEVATION - HEADER BOND



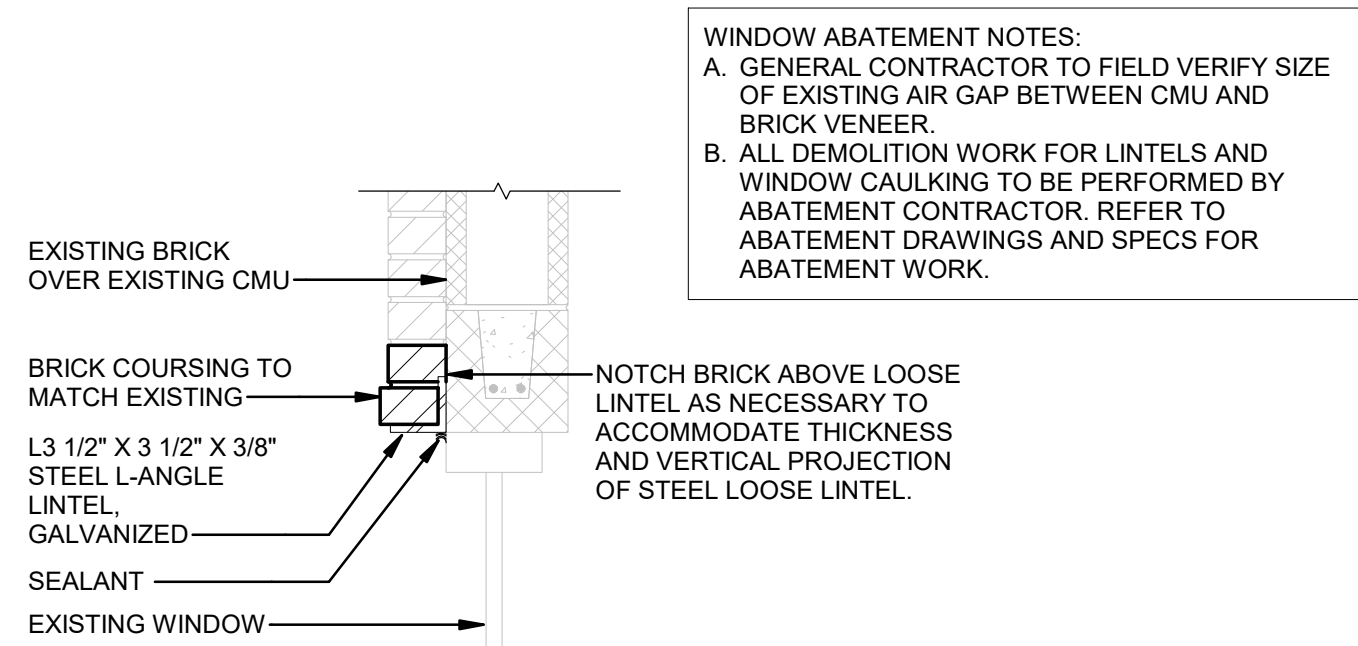
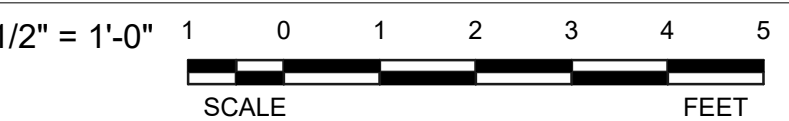
3 WINDOW ELEVATION - SOLDIER BOND



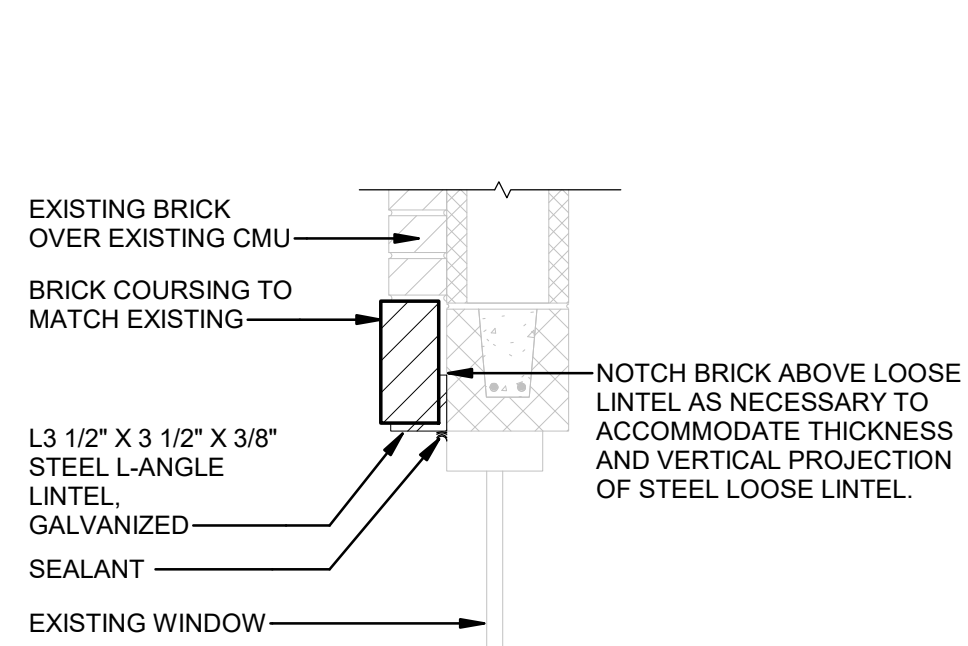
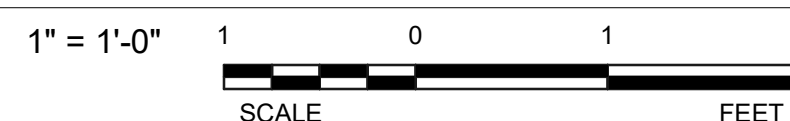
5 WINDOW ELEVATION - STRETCHER BOND



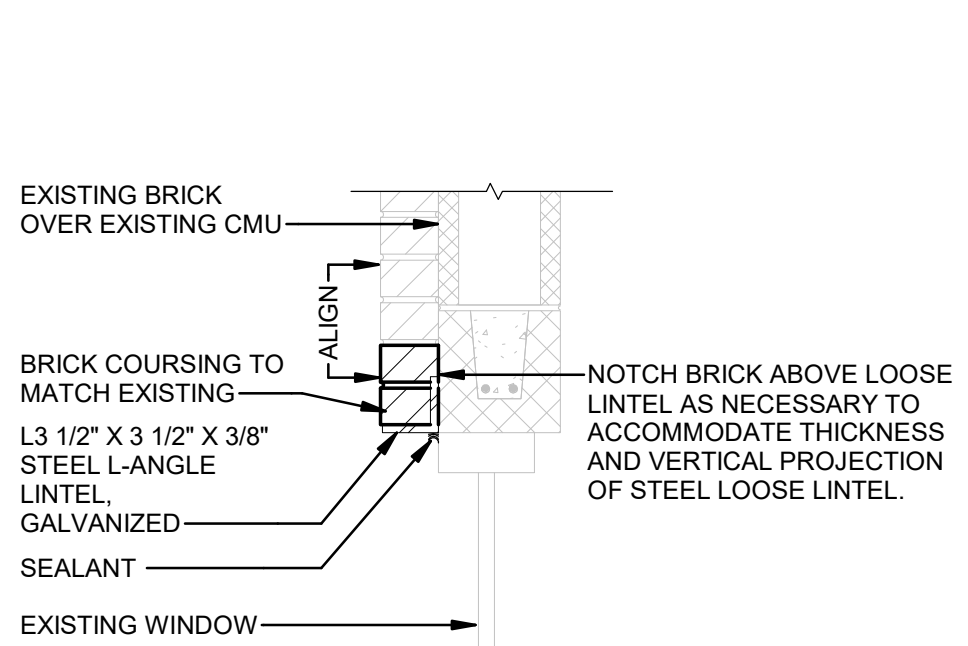
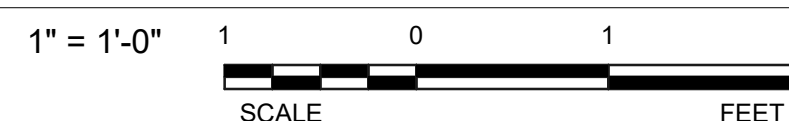
7 WINDOW ELEVATION - BASKETWEAVE BOND



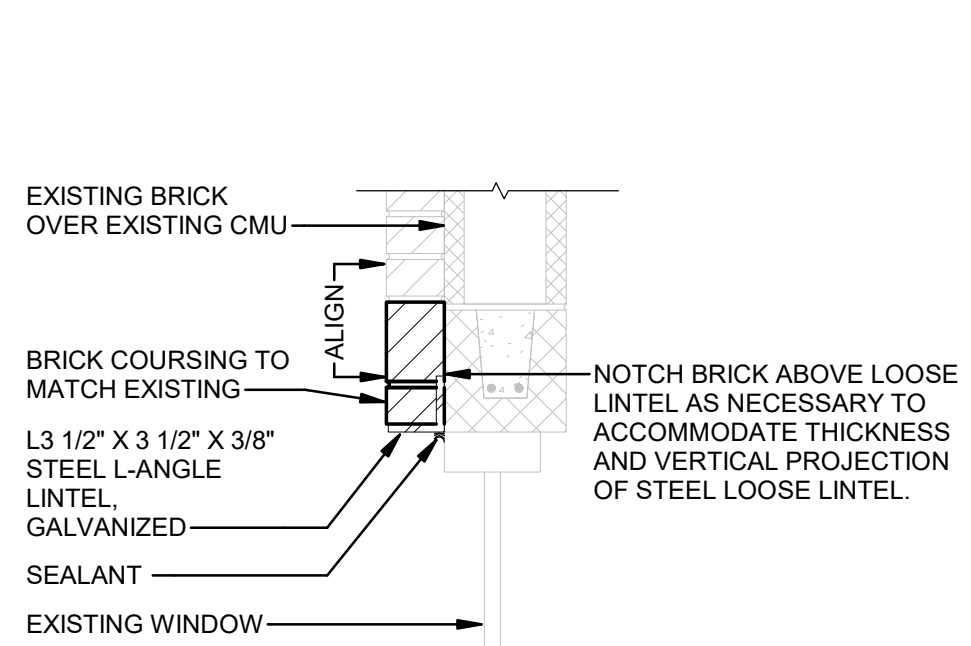
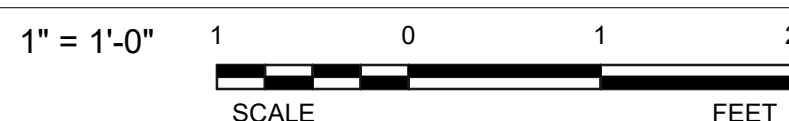
2 SECTION DETAIL - WINDOW HEAD



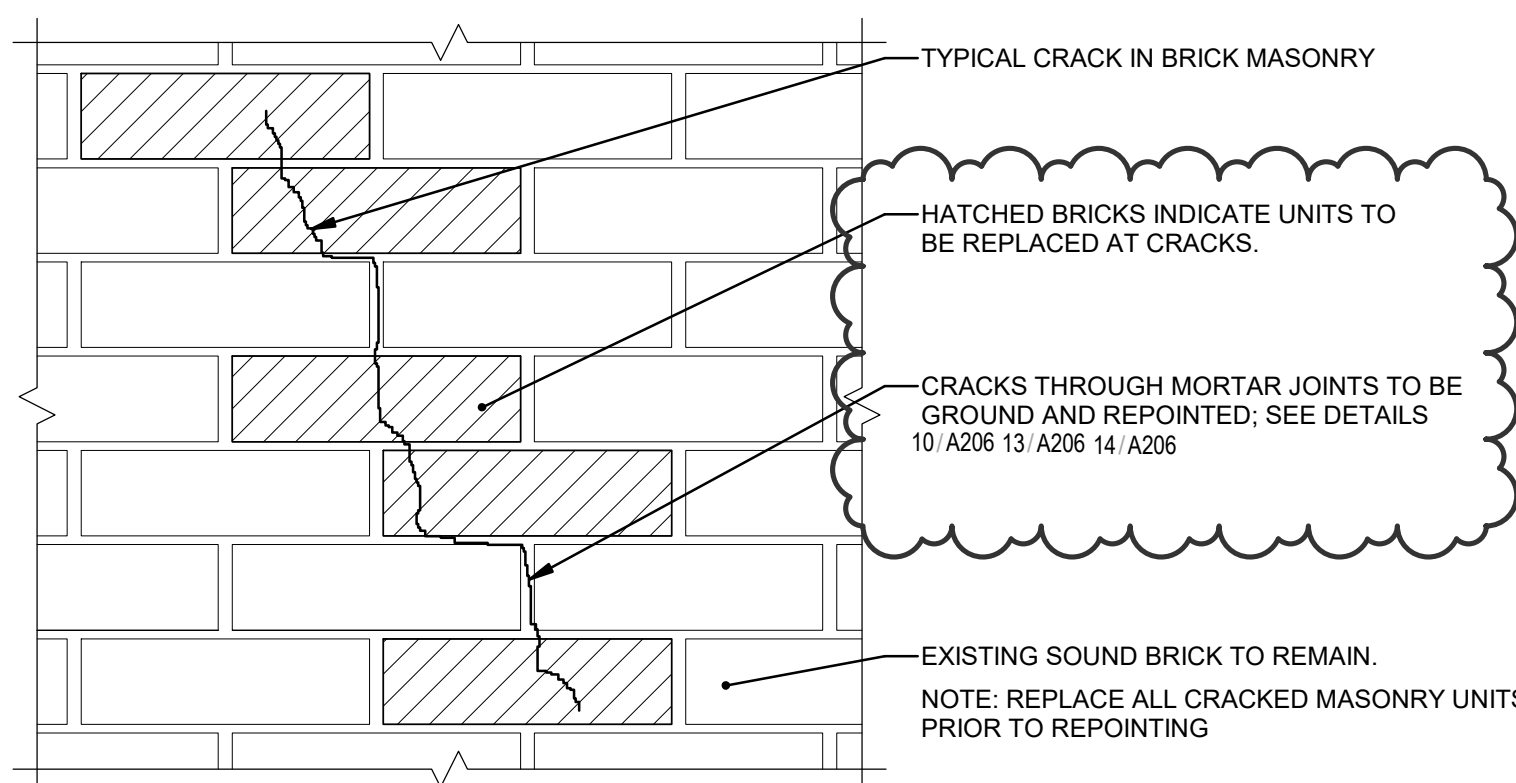
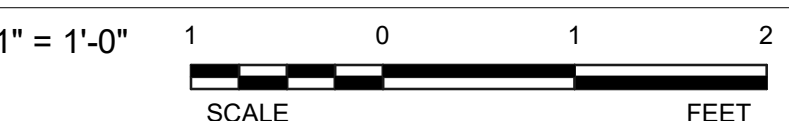
4 SECTION DETAIL - WINDOW HEAD



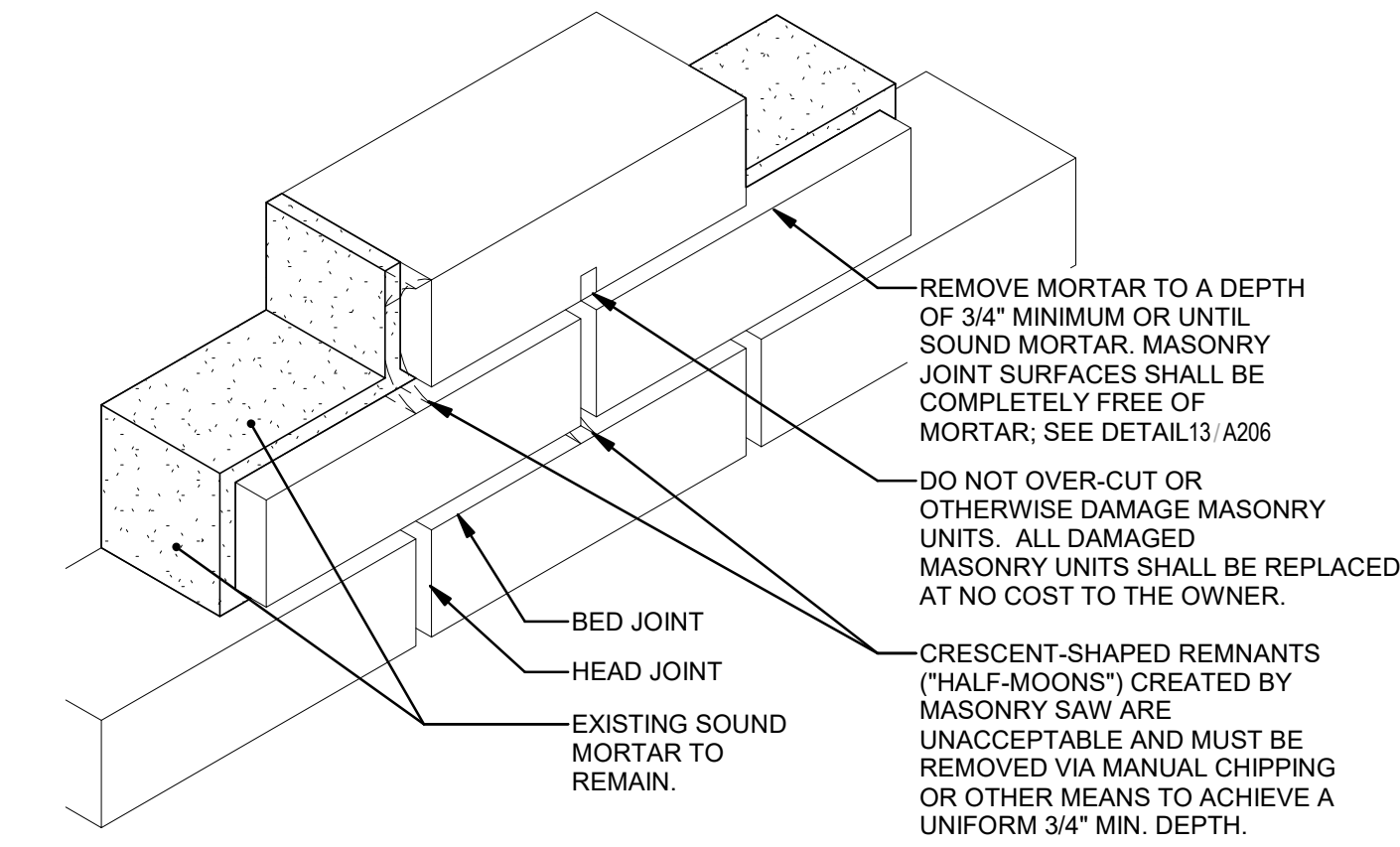
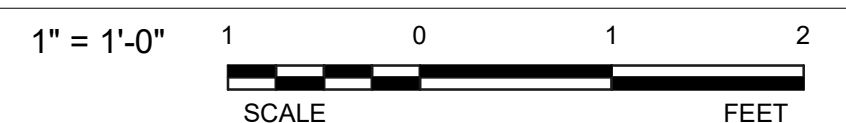
6 SECTION DETAIL - WINDOW HEAD



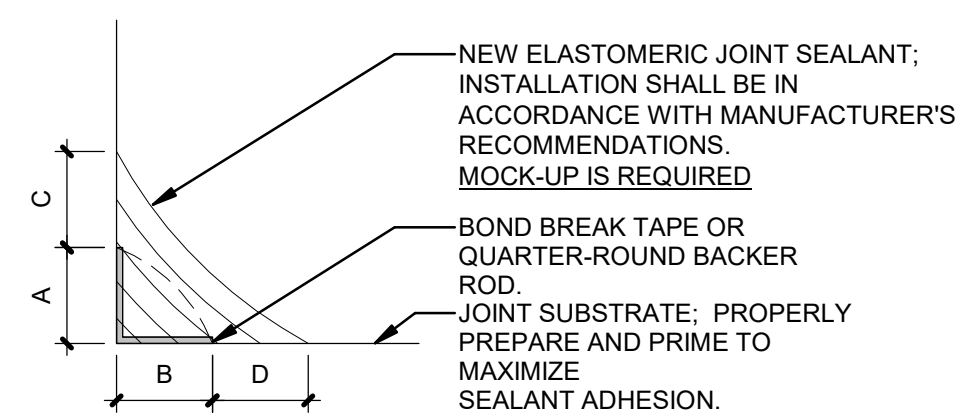
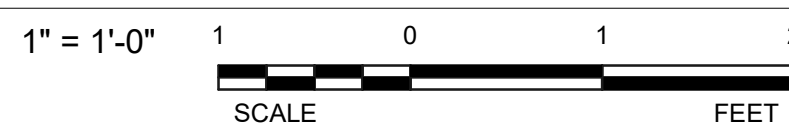
8 SECTION DETAIL - WINDOW HEAD



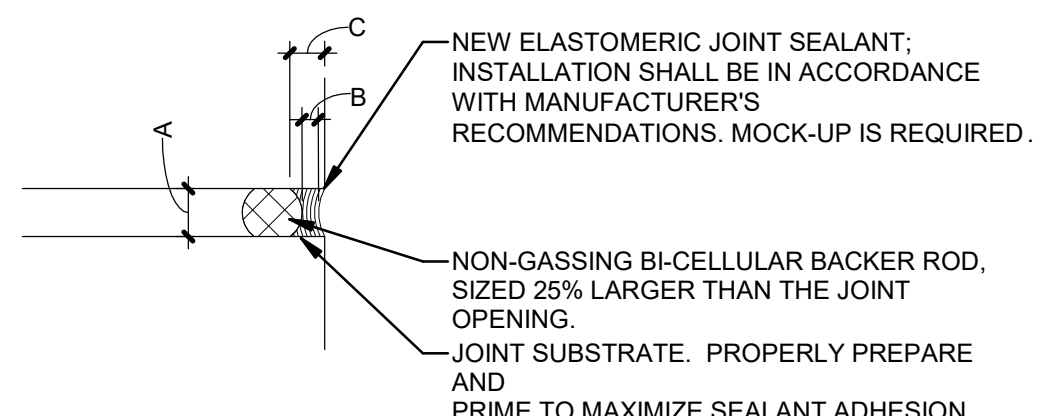
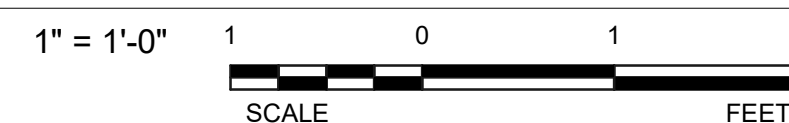
9 TYPICAL CRACKED BRICK REPLACEMENT



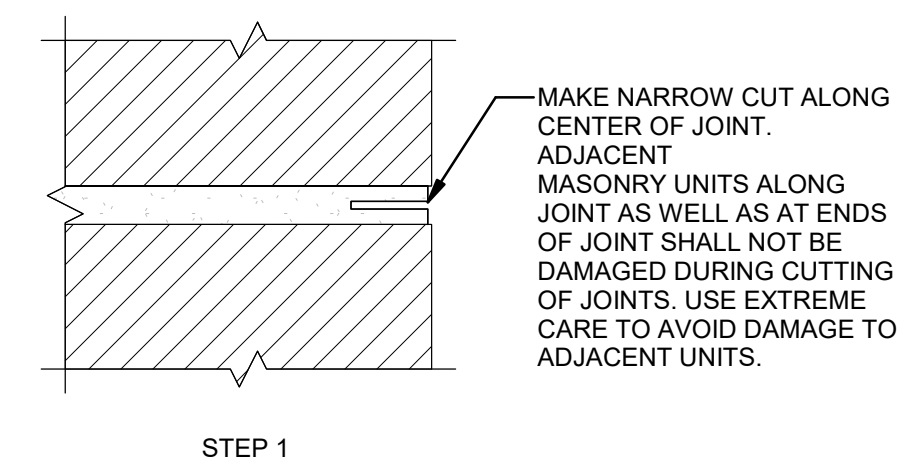
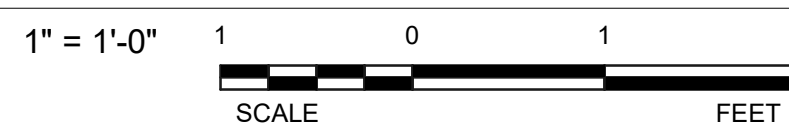
10 MORTAR REMOVAL ISOMETRIC



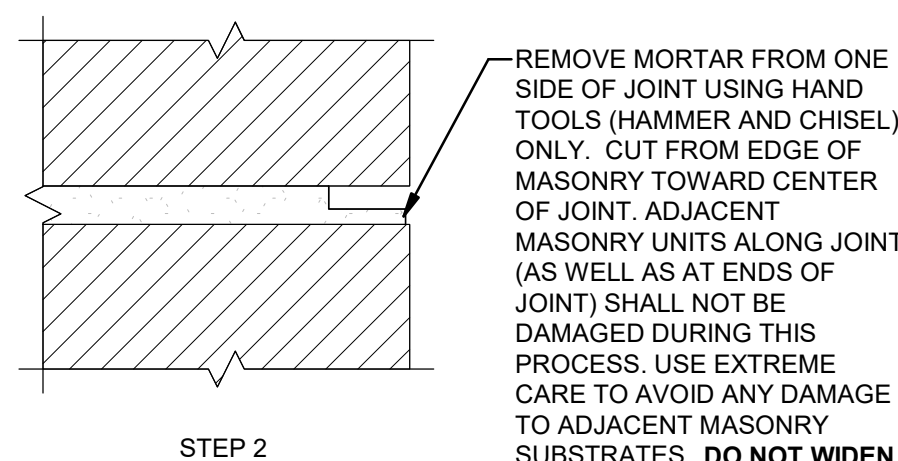
11 TYPICAL SEALANT IN FILLET PROFILE



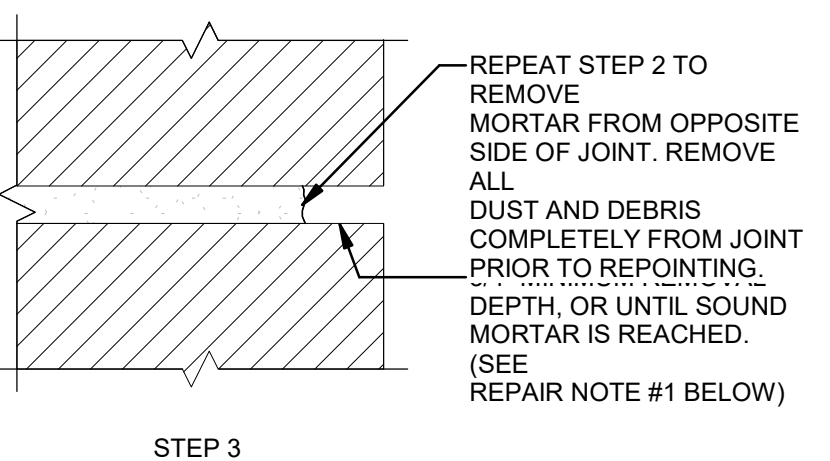
12 TYPICAL SEALANT JOINT PROFILE



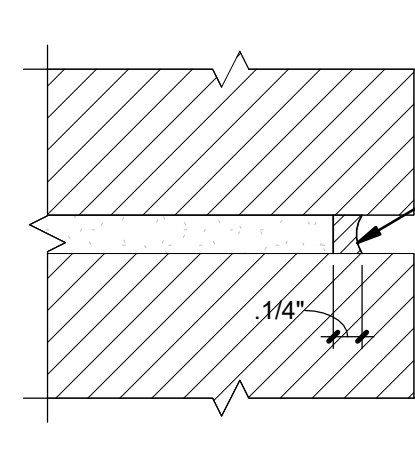
STEP 1



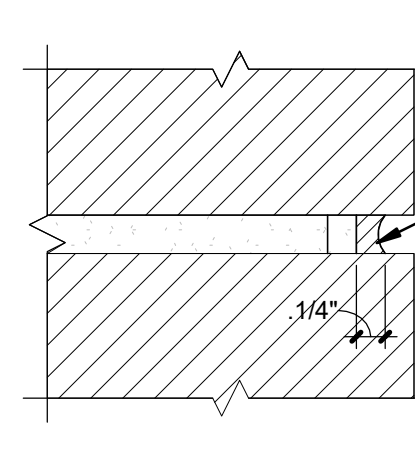
STEP 2



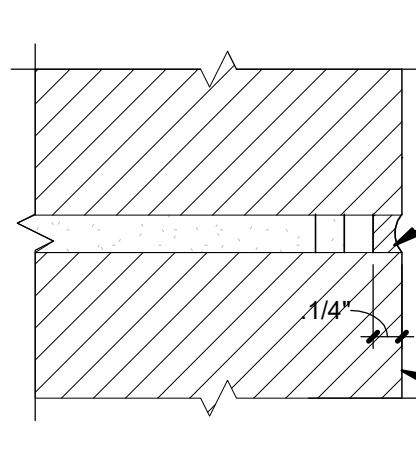
STEP 3



STEP 1



STEP 2



STEP 3

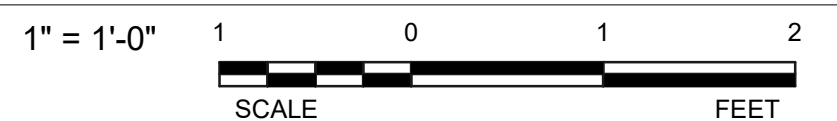
MORTAR REMOVAL NOTES:

1. CRESCENT-SHAPED REMNANTS OF MORTAR LEFT BY MASONRY SAW ARE NOT PERMITTED. REMOVE WITH ROUTER OR CHISEL TO ACHIEVE UNIFORM 3/4" MINIMUM REMOVAL DEPTH.
2. DO NOT DAMAGE FACE OF MASONRY UNITS. ALL MASONRY UNITS DAMAGED DURING MORTAR REMOVAL AND REPOINTING ACTIVITIES SHALL BE REPLACED AT NO ADDITIONAL COST TO THE OWNER.

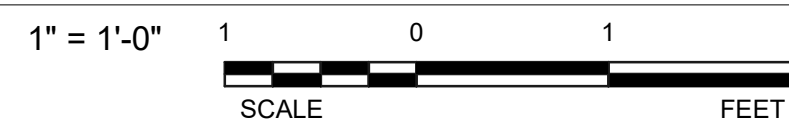
REPOINTING NOTES:

1. PRE-HYDRATE NEW MORTAR AND JOINT AS DEFINED IN THE PROJECT SPECIFICATIONS. INSTALL NEW MORTAR IN 1/4" LIFTS.
2. ACTUAL JOINT SHALL BE TOOLED TO MATCH ORIGINAL JOINT PROFILE AS DETERMINED VIA MOCK-UP AND APPROVAL BY THE A/E AND OWNER.

13 TYPICAL REPOINTING MORTAR REMOVAL PROCEDURE



14 TYPICAL REPOINTING MORTAR INSTALLATION PROCEDURE



STATE OF MISSOURI
MIKE KEHOE,
GOVERNOR

ARCHITECTURE & ENGINEERING



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F: 314.918.1766
www.introba.com

MISSOURI STATE CERTIFICATE
OF AUTHORITY #000148



BRADFORD ALAN PIERCE
PROFESSIONAL SEAL #AR005805

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MANAGEMENT,
DESIGN AND
CONSTRUCTION

FARMINGTON
CORRECTIONAL CENTER

FARMINGTON CORRECTIONAL
FACILITY - REPLACE ROOFS &
TUCKPOINT EXTERIOR
MASONRY, TREATMENT
CENTER 25 & CONTROL
BUILDING 12

1012 WEST COLUMBIA STREET,
FARMINGTON, MO 63640

PROJECT # C2504-01
SITE # 7008
ASSET CC# AN-9327008114
ASSETS TC# AN-9327008076

REVISION/ADDENDUM 2

DATE: 1/17/2025

REVISION:

DATE:

REVISION:

DATE:

ISSUE DATE: 09/05/2025

CAD DWG FILE:

DRAWN BY: CJM/HB

CHECKED BY: BAP

DESIGNED BY: CJM

SHEET TITLE:
MASONRY DETAILS

SHEET NUMBER:

A206

09/05/2025

SHEET 20 OF 27

TRACING / BID DOCUMENTS



BRADFORD ALAN PIERCE
PROFESSIONAL SEAL #AR005805

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REVISION: _____
DATE: _____
ISSUE DATE: 09/05/2025

CAD DWG FILE:
DRAWN BY: CJM/HB
CHECKED BY: BAP
DESIGNED BY: CJM

SHEET TITLE:
DETAILS - ROOF

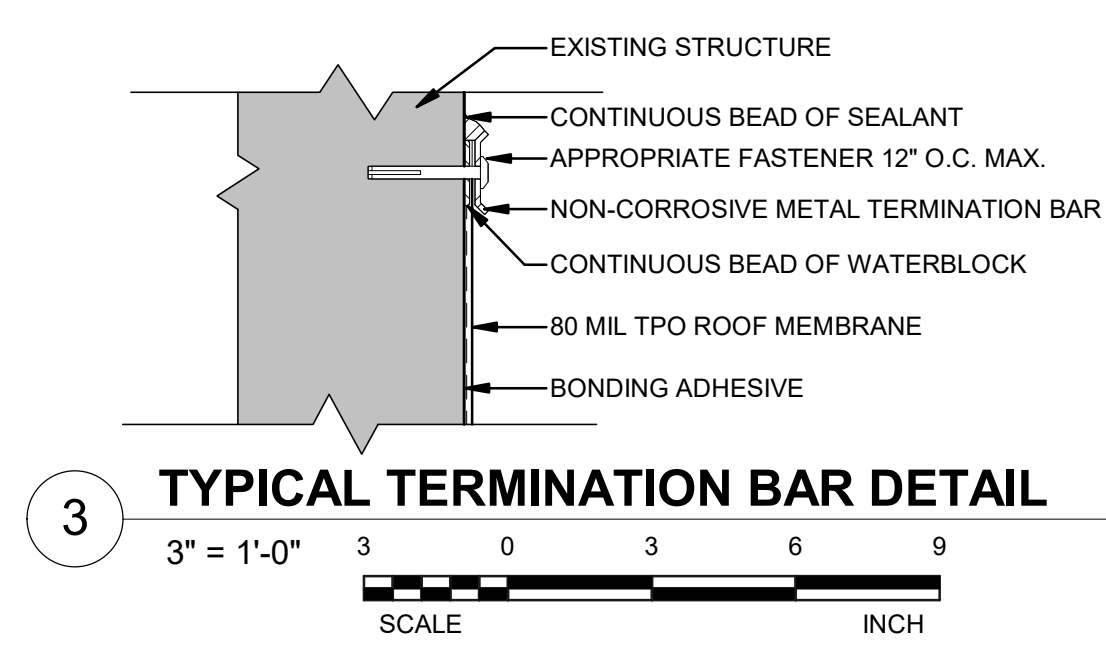
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A501

TRACING / BID DOCUMENTS

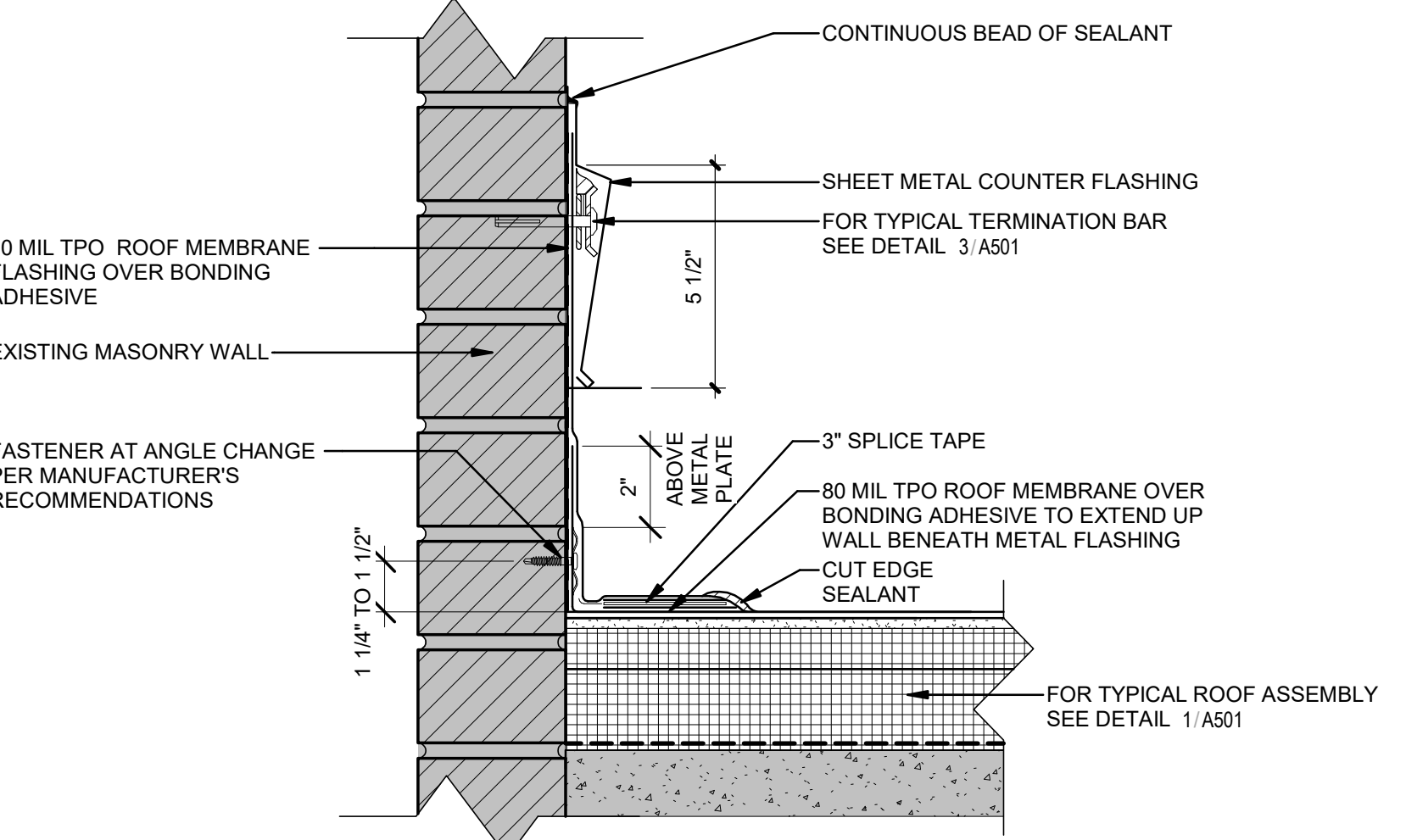
ROOF DETAIL LEGEND

EXISTING CONDITION



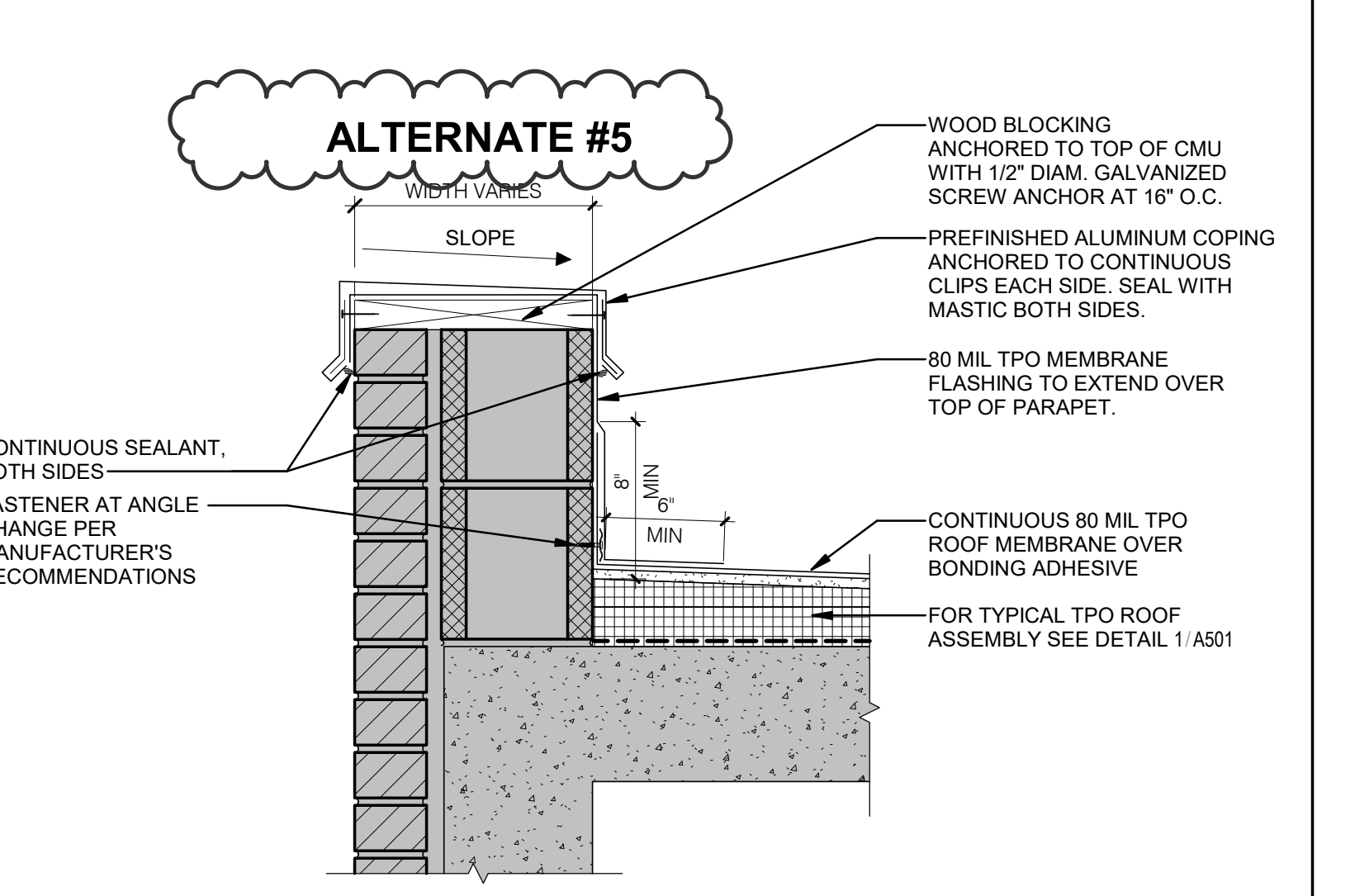
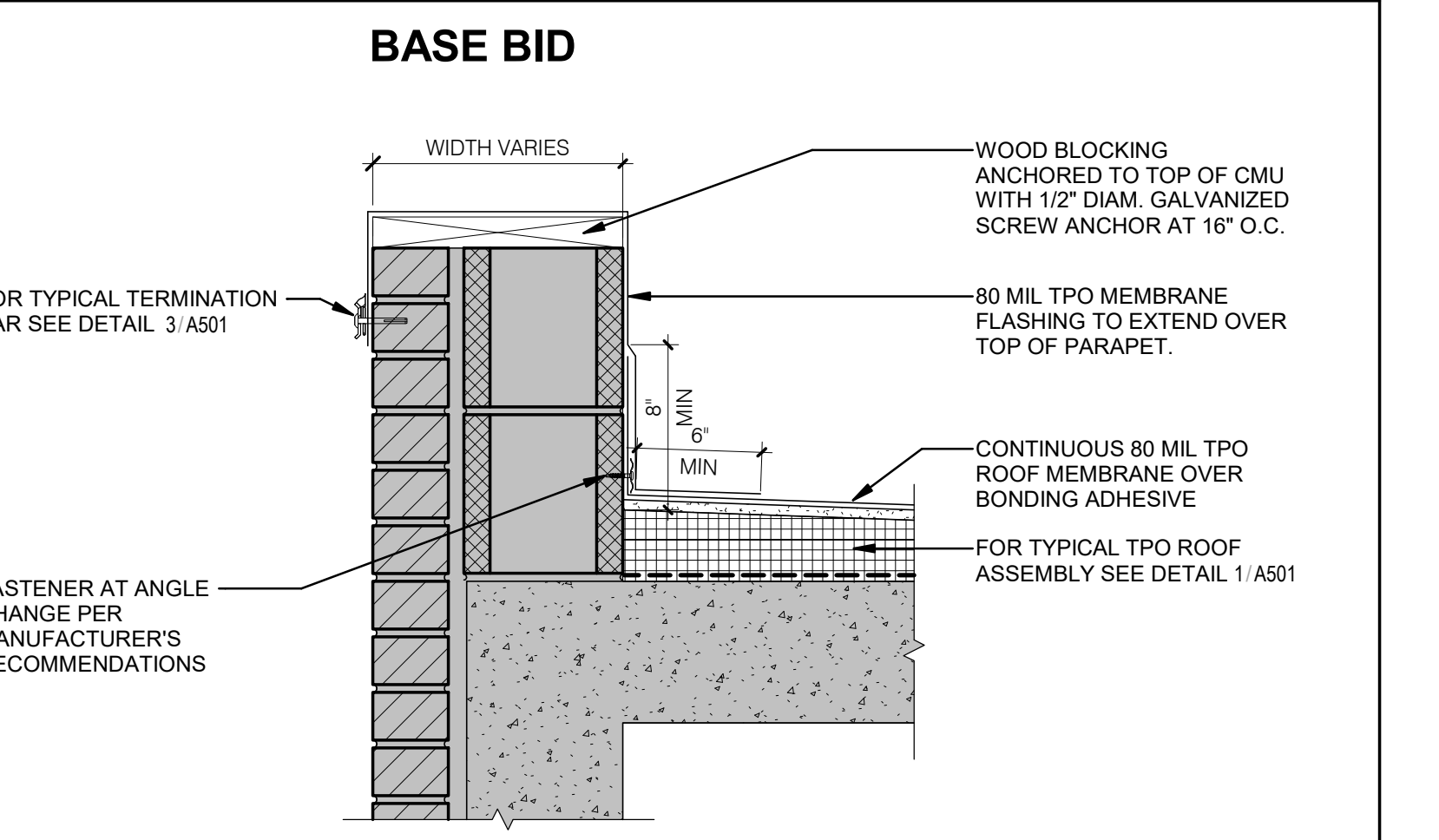
3 TYPICAL TERMINATION BAR DETAIL

3" = 1'-0" 3 0 3 6 9
SCALE INCH



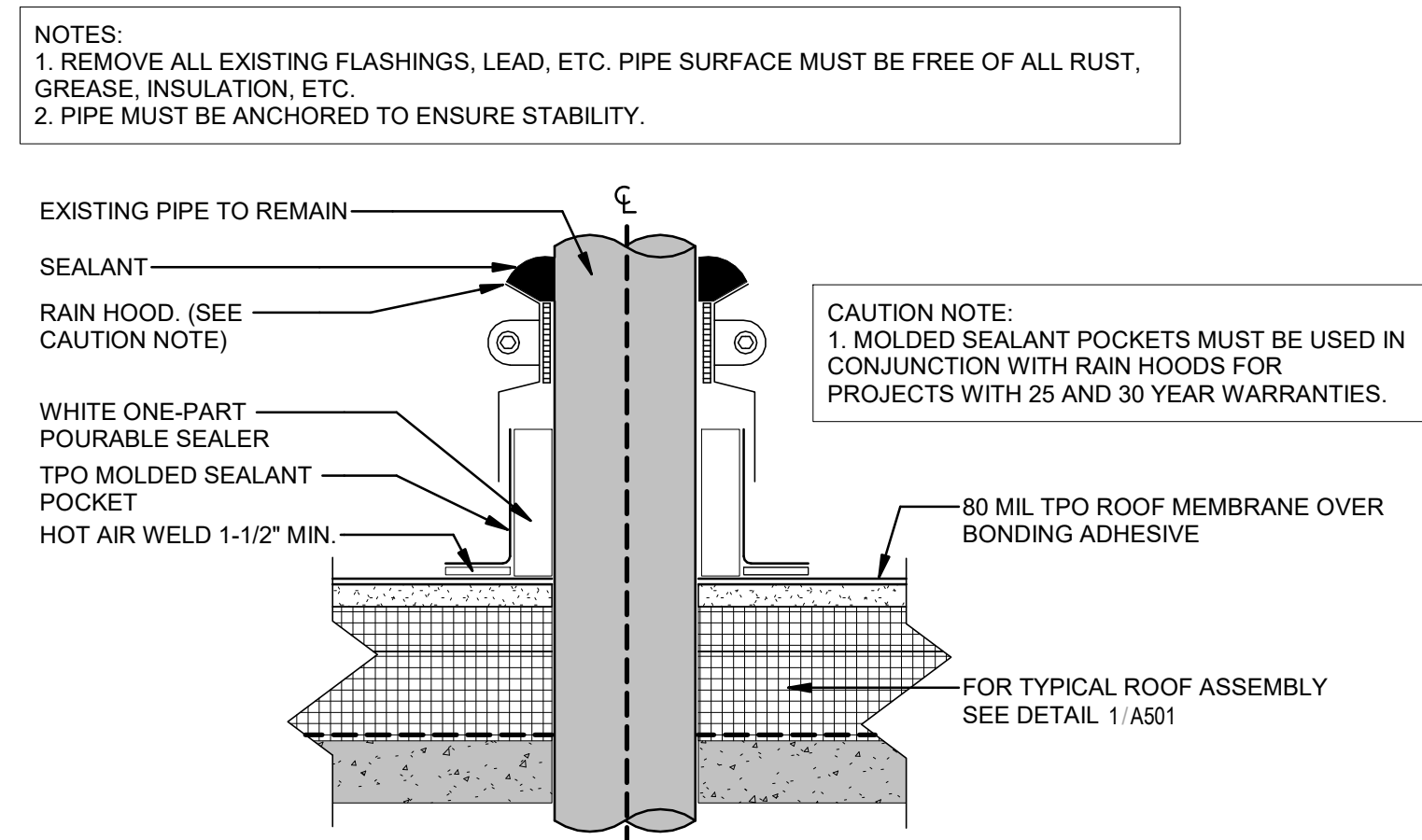
4 TYPICAL WALL COUNTERFLASHING DETAIL

3" = 1'-0" 3 0 3 6 9
SCALE INCH



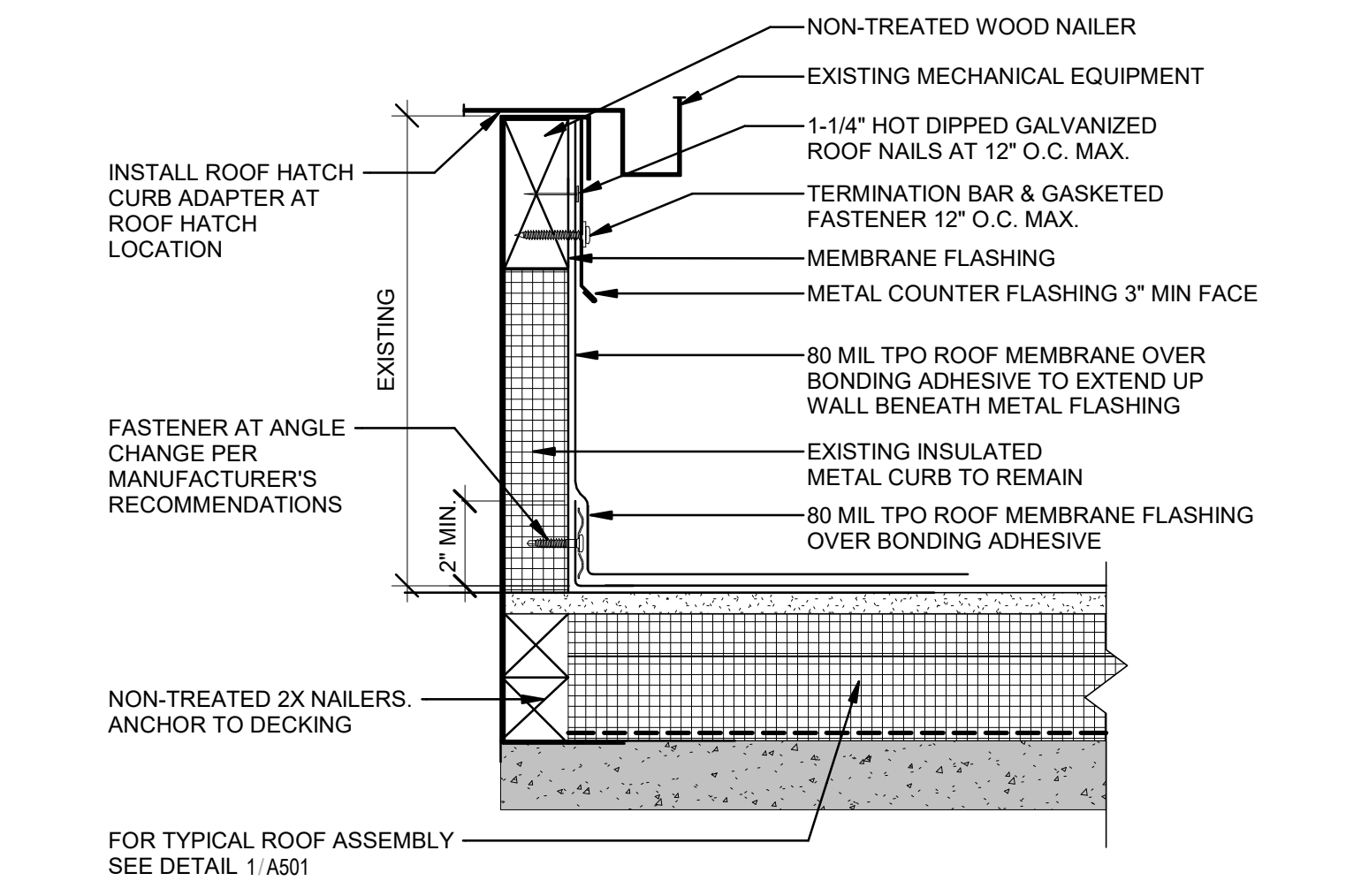
9 SECTION DETAIL - PARAPET, TYPICAL AT BUILDING 25

1 1/2" = 1'-0" 1 0 1
SCALE FEET



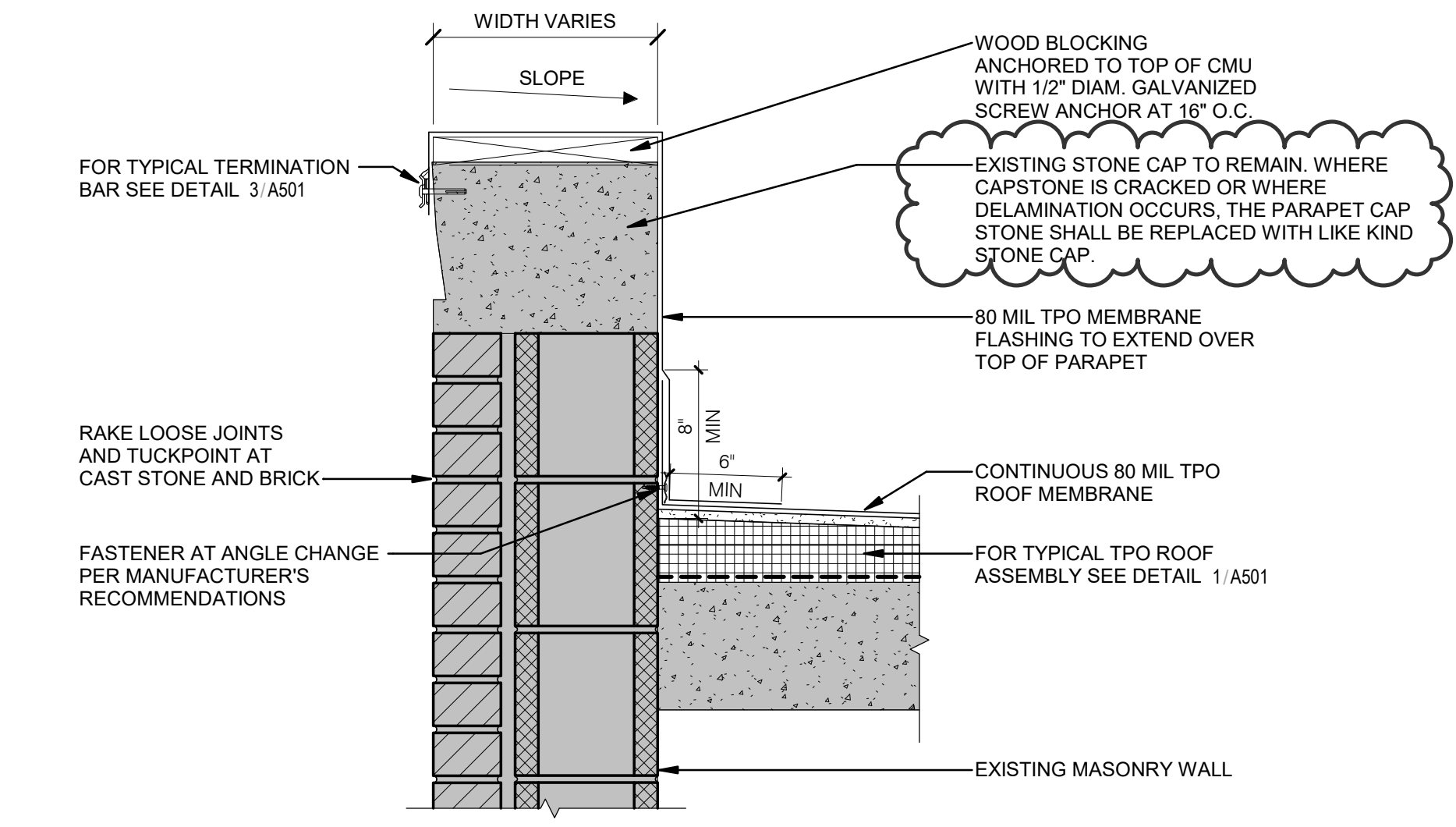
2 TYPICAL LARGE ROOF PENETRATION DETAIL

3" = 1'-0" 3 0 3 6 9
SCALE INCH



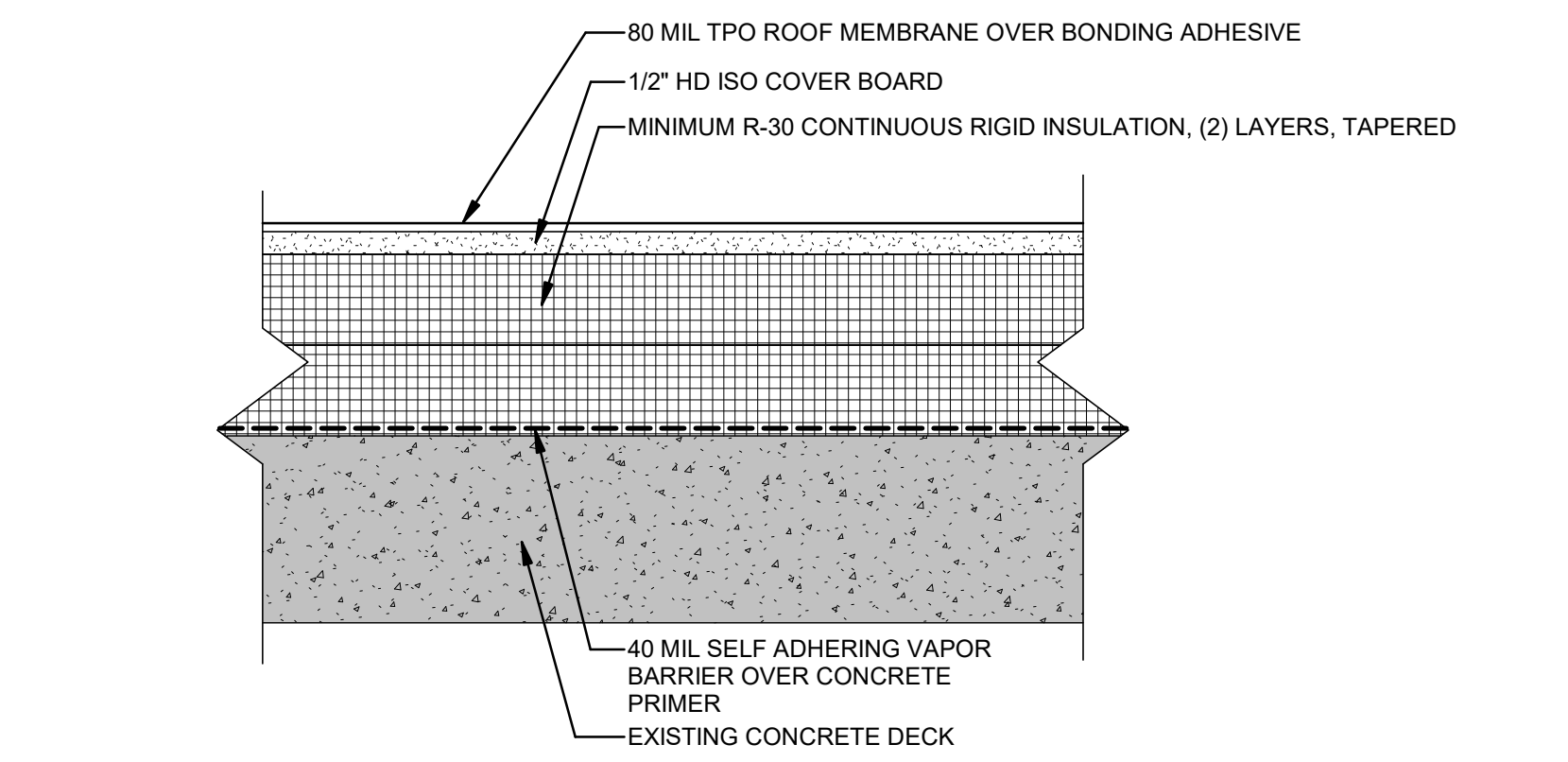
6 EXISTING METAL CURB

3" = 1'-0" 3 0 3 6 9
SCALE INCH



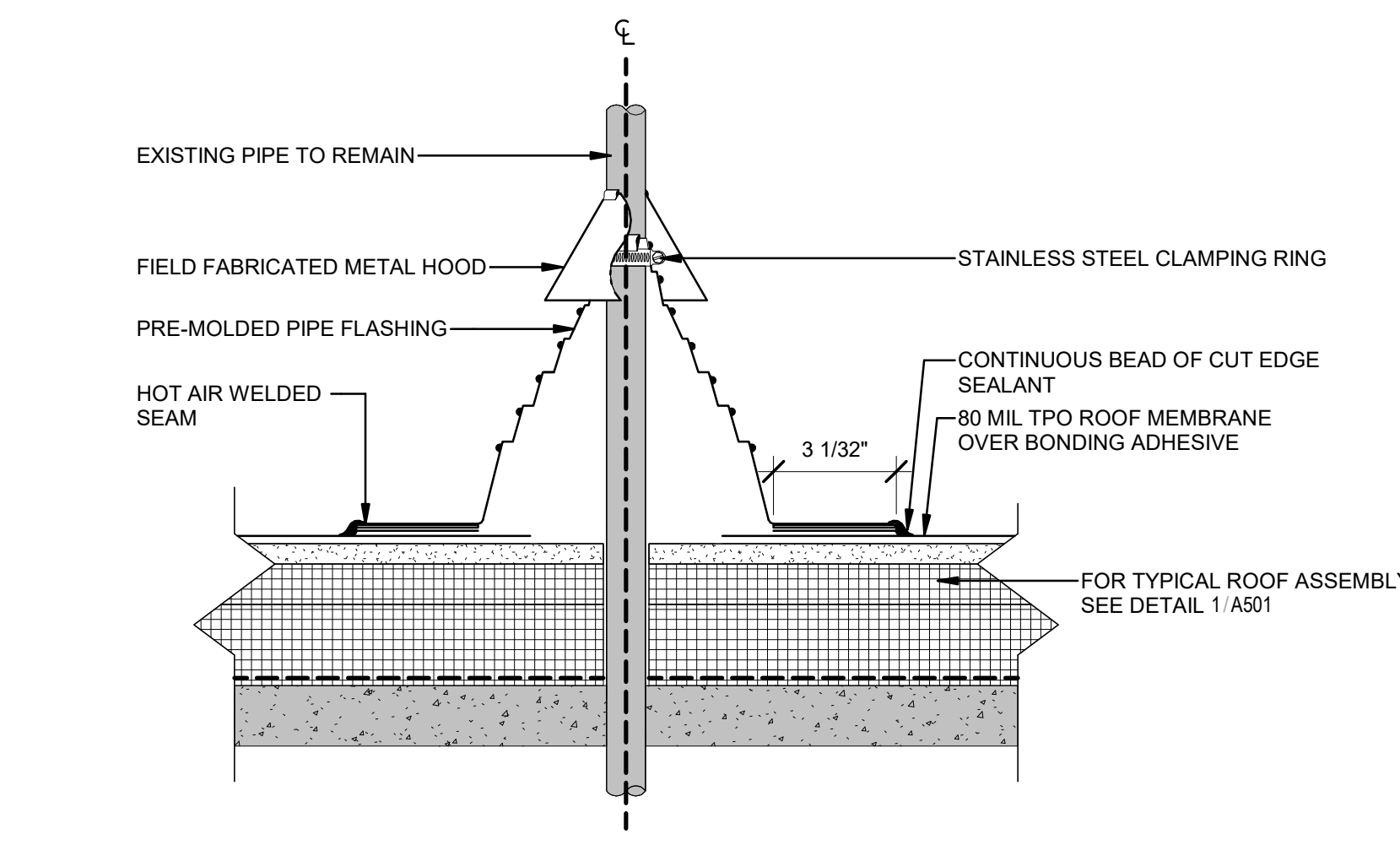
8 SECTION DETAIL - PARAPET, TYPICAL - ZONE A

1 1/2" = 1'-0" 1 0 1
SCALE FEET



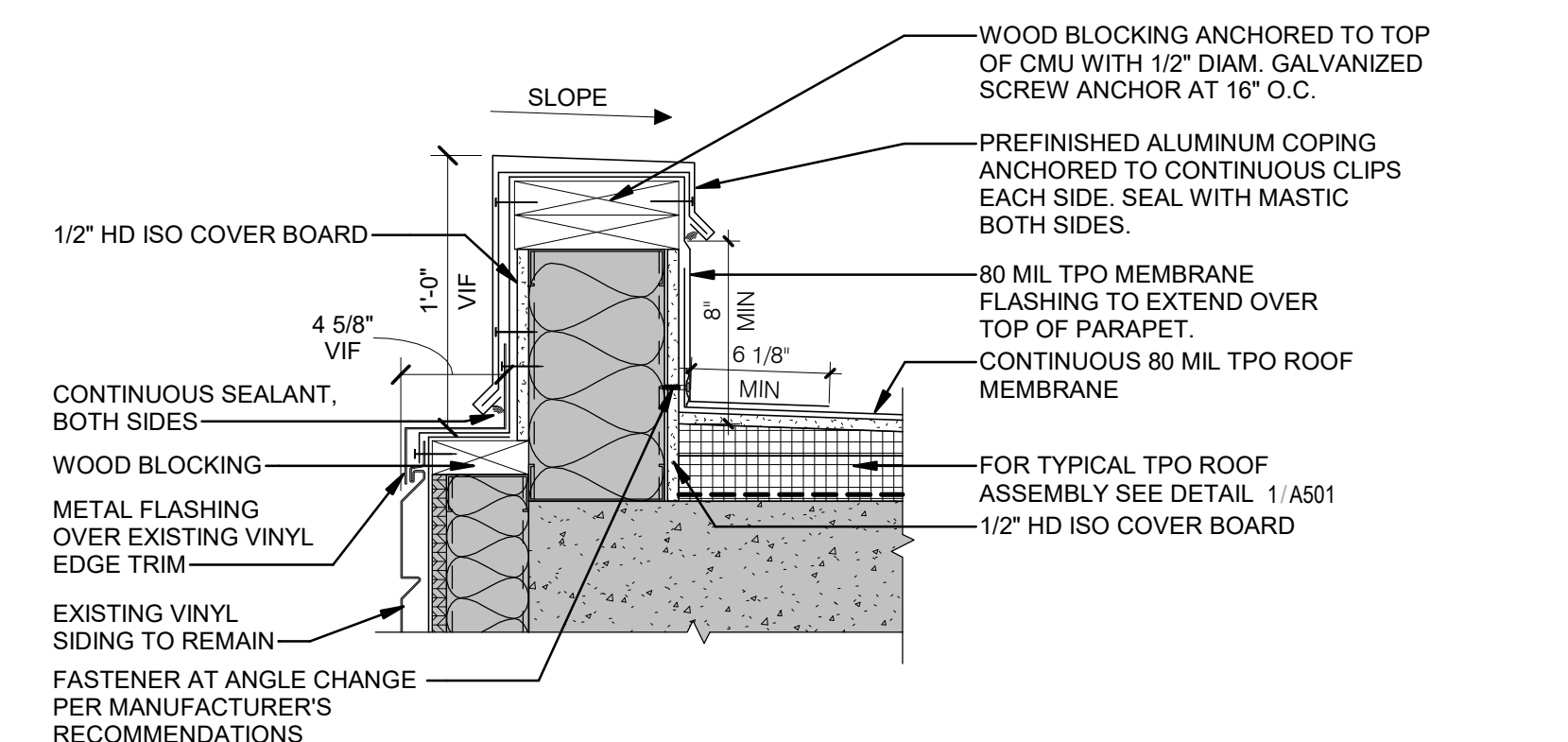
1 TYPICAL TPO SECTION - FM GLOBAL ROOF NAV#234121-0-0

3" = 1'-0" 3 0 3 6 9
SCALE INCH



5 TYPICAL SMALL ROOF PENETRATION DETAIL

3" = 1'-0" 3 0 3 6 9
SCALE INCH



7 SECTION DETAIL - ELEVATOR SHAFT

1 1/2" = 1'-0" 1 0 1
SCALE FEET