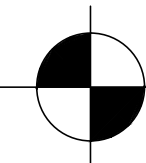


Repairs To Exterior Facade Landers State Office Building 149 Park Central Square Springfield, Missouri

ARCHITECT



Buddy Webb & Company, Inc.
Architects - Consultants
3057 EAST CAIRO STREET
SPRINGFIELD, MISSOURI 65802
(417) 877-1385 PHONE

SHEET INDEX

SHEET NO.	SHEET NAME
G-001	COVER SHEET
A-101	FIRST FLOOR PLAN & GENERAL NOTES
A-201	EXTERIOR ELEVATIONS
A-202	EXTERIOR ELEVATIONS
A-203	EXTERIOR ELEVATIONS
A-204	EXTERIOR ELEVATIONS

SYMBOLS

	SECTION NUMBER		WALL TYPE MARK
	SECTION/ELEVATION MARK		DOOR MARK
	DETAIL NUMBER		WINDOW MARK
	DETAIL MARK		
	SHEET NUMBER		

OWNER:

STATE OF MISSOURI
MICHAEL L. PARSON,
GOVERNOR

PROJECT
MANAGEMENT:

OFFICE OF ADMINISTRATION
DIVISION OF FACILITIES MANAGEMENT,
DESIGN AND CONSTRUCTION

DESIGNER:

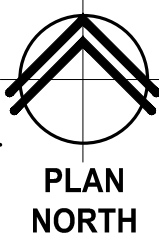
Buddy Webb & Company, Inc.
Architects / Consultants
ARCHITECTURAL FIRM CERTIFICATE OF AUTHORITY NO.: ARC 2004028947

PROJECT NUMBER: O1920-01

SITE NUMBER: 1004
FACILITY NUMBER: 3101004001



1 SITE LOCATION
G001 N.T.S.



SHEET NUMBER:

G-001

1 OF 6 SHEETS
09/29/22

This architectural floor plan illustrates the layout of an existing building, including its internal structure, room divisions, and surrounding property boundaries. The plan is oriented with the building's main entrance at the top center.

Building Dimensions and Layout:

- Overall Dimensions:** The building measures 112'-1 1/2" in width and 107'-6" in depth.
- Internal Features:**
 - Central Core:** A central vertical corridor contains a staircase and several small rooms, likely restrooms or utility spaces.
 - Left Wing:** A long, narrow wing on the left side of the building, containing several rooms and a large open area.
 - Right Wing:** A long, narrow wing on the right side of the building, containing several rooms and a large open area.
 - Front Wing:** A wing at the bottom of the building, containing several rooms and a large open area.
 - Back Wing:** A wing at the top of the building, containing several rooms and a large open area.
- Property Lines and Surroundings:**
 - Property Line (Approx.):** Indicated by a dashed line around the building.
 - Area of Existing Sidewalk:** Located on the left and right sides of the building.
 - Area of Basement (Below):** Indicated by a dashed line below the building.

Labels and Dimensions:

- EXISTING BUILDING:** Large text label across the center of the plan.
- 112'-1 1/2":** Overall width dimension.
- 107'-6":** Overall depth dimension.
- 66'-4 5/8":** Width of the left wing.
- 19'-1 1/2":** Width of the central core.
- 21'-7 1/4":** Width of the right wing.
- 9'-4 5/8":** Width of the front wing.
- 9'-6":** Width of the back wing.
- 16'-0":** Width of the front wing.
- 42'-11 1/2":** Width of the back wing.
- 69'-2":** Width of the front wing.
- AREA OF EXISTING SIDEWALK:** Label for the sidewalk area on the left and right.
- AREA OF BASEMENT (BELOW):** Label for the basement area below the building.
- PROPERTY LINE (APPROX.):** Label for the property line.
- RAMP UP:** Label for the ramp leading up to the building.

BASE BID [EXTERIOR REMOVAL AND REPLACEMENT OF JOINT SEALANTS AND MASONRY REPOINTING]:

1. REMOVE AND REPLACE JOINT SEALANTS AT ALL EXISTING DOOR, WINDOW, AND FINISHING PERIMETERS. COLORS TO MATCH EXISTING OPENING FRAME FINISHES.
2. REMOVE AND REPLACE JOINT SEALANTS AT ALL EXISTING FIBER CEMENT PANEL, SYSTEM JOINTS AND TRANSITIONS. COLOR TO MATCH EXISTING FIBER CEMENT PANEL FINISHES.
3. REMOVE AND REPLACE JOINT SEALANTS AT ALL EXISTING MASONRY AND TERRA COTTA SEALANT JOINTS. COLORS TO MATCH EXISTING ADJACENT MASONRY FINISHES.
4. REMOVE AND REPLACE DEFECTIVE EXISTING MASONRY AND TERRA COTTA MORTAR JOINTS AND TUCK POINT MISSING MORTAR JOINTS.

ALTERNATE NO. 1 (EXTERIOR REPAIR AND REPLACEMENT OF DAMAGED AND DEFECTIVE TERRA COTTA AND EXTERIOR INSULATION FINISH SYSTEM (EIFS)):

1. REPAIR OR REPLACE EXISTING DAMAGED TERRA COTTA.
2. REPAIR EXISTING DAMAGED SURFACES OR CRACKED TERRA COTTA.
3. REPAIR AND/OR REPLACE EXISTING DAMAGED OR MISSING MOSAIC TILE.
4. REMOVE AND REPLACE EXISTING DEFECTIVE EXTERIOR INSULATION FINISH SYSTEM (EIFS).
5. REPAIR DAMAGED SURFACES OR CRACKING EXISTING EXTERIOR INSULATION FINISH SYSTEM (EIFS).

ALTERNATE NO. 2 (SOUTH AND EAST EXTERIOR FACADE SURFACE CLEANING AND INSTALLATION OF WATER REPELLENTS)

1. EXISTING BUILDING EXTERIOR WALL SURFACES TO BE CLEANED AND PROVIDE WATER REPELLENTS COMPATIBLE WITH SUBSTRATE CONDITIONS.

ALTERNATE NO. 3 (NORTH AND WEST EXTERIOR FACADE SURFACE CLEANING AND INSTALLATION OF WATER REPELLENTS)

1. EXISTING BUILDING EXTERIOR WALL SURFACES TO BE CLEANED AND PROVIDE WATER REPELLENTS COMPATIBLE WITH SUBSTRATE CONDITIONS.

UNIT PRICING

1. CONTRACTOR TO PROVIDE UNIT PRICES FOR CHANGES IN SCOPE OF WORK ESTIMATED BID QUANTITIES INDICATED. REFER TO PROJECT MANUAL FOR ADDITIONAL REQUIREMENTS.
2. DURING CONSTRUCTION THE CONTRACTOR SHALL INSPECT THE EXISTING BUILDING EXTERIOR WALL SURFACES FOR CHANGE IN ESTIMATED BID QUANTITIES INDICATED AND FOR OTHER DEFECTS AND SHALL NOTIFY OWNER AND ARCHITECT OF CONDITIONS AND SUBMIT DOCUMENTATION SUFFICIENT TO DEFINE CHANGE IN SCOPE OF WORK.

- (B) REFER TO PROJECT MANUAL FOR ADDITIONAL REQUIREMENTS.
- (B) EXISTING CONDITIONS BASED UPON OWNER'S ARCHIVE DOCUMENTS AND ARCHITECT'S FIELD OBSERVATIONS. FIELD VERIFY EXISTING CONDITIONS BY DETAILED INSPECTION PRIOR TO SUBMITTING BID AND BEGINNING CONSTRUCTION. NOTIFY ARCHITECT IF EXISTING CONDITIONS DEVIATE SUBSTANTIALLY FROM THOSE INDICATED HEREIN.
- (C) AERIAL DRONE PHOTO SURVEY OF EXISTING BUILDING EXTERIOR CONDITIONS HAVE BEEN CONDUCTED AND AVAILABLE IN ELECTRONIC FORMAT. REFER TO PROJECT MANUAL. PHOTOS INCLUDED IN DRAWINGS DEPICT THE WORST OBSERVABLE AND DOCUMENTED CONDITIONS.
- (D) EXISTING CONSTRUCTION TO REMAIN TO BE PROTECTED AS REQUIRED. REPLACE AND/OR REPAIR EXISTING CONSTRUCTION DAMAGED DUE TO CONTRACTOR ACTIVITIES.
- (E) ALL DEMOLITION MATERIALS SHALL BECOME THE PROPERTY OF CONTRACTOR FOR PROPER DISPOSAL UNLESS OTHERWISE INDICATED.
- (F) CONTRACTOR SHALL EXAMINE EXISTING CONDITIONS AND EXERCISE CAUTION IN IMPLEMENTATION OF MEANS AND METHODS SUPPORTED BY EXISTING BUILDING STRUCTURAL CONDITIONS.
- (G) CONTRACTOR SHALL VERIFY REQUIREMENTS AND SAFETY PRECAUTIONS ESTABLISHED BY THE CITY OF SPRINGFIELD PERTAINING TO CLOSURE OF CITY SIDEWALKS AND/OR STREETS DURING CONSTRUCTION. THE CONTRACTOR IS RESPONSIBLE TO COORDINATE WITH THE CITY AND OBTAIN ALL REQUIRED LOCAL PERMITS ASSOCIATED WITH THE WORK. CONTACT CITY OF SPRINGFIELD TRAFFIC OPERATIONS DEPARTMENT (417) 864-1930.
- (H) CONTRACTOR SHALL PROVIDE CLEAR AND SAFE ACCESS TO BUILDING ENTRIES AND EMERGENCY EXITS AT ALL TIMES. COORDINATE OTHER BUILDING ACCESS AND USE REQUIREMENTS WITH FACILITIES OPERATIONS MANAGER.

SCOPE OF WORK TYPE	AMOUNT
BASE BID: JOINT SEALANT REPLACEMENT AT DOOR, WINDOW, AND OPENING PERIMETERS	7,800 LINEAR FEET
BASE BID: JOINT SEALANT REPLACEMENT AT FIBER CEMENT PANEL SYSTEM JOINTS AND TRANSITIONS	4,800 LINEAR FEET
BASE BID: JOINT SEALANT REPLACEMENT AT MASONRY AND TERRA COTTA	5,450 LINEAR FEET
BASE BID: MASONRY AND TERRA COTTA MORTAR JOINT TUCK POINTING	250 LINEAR FEET
ALTERNATE NO. 1: REPAIR OR REPLACEMENT OF DAMAGED TERRA COTTA	35 SQUARE FEET
ALTERNATE NO. 1: REPAIR DAMAGED SURFACES OR CRACKED TERRA COTTA	2,700 SQUARE FEET
ALTERNATE NO. 1: REMOVAL AND REPLACEMENT OF DEFECTIVE EXTERIOR INSULATION FINISH SYSTEM (EIFS)	980 SQUARE FEET
ALTERNATE NO. 1: REPAIR DAMAGED SURFACE OR CRACKING EXTERIOR INSULATION FINISH SYSTEM (EIFS)	150 SQUARE FEET
ALTERNATE NO. 1: REPAIR AND REPLACEMENT OF DAMAGED OR MISSING MOSAIC TILE	60 SQUARE FEET
ALTERNATE NO. 2: SOUTH AND EAST EXTERIOR FACADE CLEANING AND WATER REPELLANT TREATMENTS	15,579 SQUARE FEET
ALTERNATE NO. 2: SOUTH AND EAST EXTERIOR FACADE CLEANING (OPENINGS AND GLAZING)	6,969 SQUARE FEET
ALTERNATE NO. 3: NORTH AND WEST EXTERIOR FACADE CLEANING AND WATER REPELLANT TREATMENTS	19,126 SQUARE FEET
ALTERNATE NO. 3: NORTH AND WEST EXTERIOR FACADE CLEANING (OPENINGS AND GLAZING)	3,711 SQUARE FEET
ESTIMATED BID QUANTITY NOTES: 1. QUANTITIES INDICATED ARE GROSS UNIT TOTALS. 2. CONTRACTOR SHALL VERIFY QUANTITIES INDICATED AND NOTIFY ARCHITECT OF ANY DISCREPANCIES PRIOR TO BIDDING.	

A A HAZARDOUS MATERIALS TESTING REPORT HAS BEEN PROVIDED ON EXISTING SITE CONDITIONS. REFER TO PROJECT MANUAL.

B THIS PROJECT CONTAINS HAZARDOUS MATERIALS. WHERE EXISTING HAZARDOUS MATERIALS ARE REQUIRE TO BE ALTERED OR REMOVED, CONTRACTOR TO PROVIDE WORK REQUIRED FOR PROPER ALTERATION, REMOVAL, HANDLING, AND DISPOSAL OF HAZARDOUS MATERIALS PER HAZARDOUS MATERIALS TESTING REPORT FINDINGS AND RECOMMENDATIONS.

ARCHITECTURAL FIRM REGISTRATION NO.:
ARC 2004028947

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MISSOURI
REGISTERED ARCHITECTS
BUDDY DARRELL WEBB
NUMBER A-7053
2004

[Handwritten signature]

SHEETS BEARING THIS SEAL ARE AUTHENTICATED,
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SPECIFICATIONS OR INSTRUMENTS ARE DISCLAIMED.

Buddy Webb & Company, Inc.

Architects - Consultants
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(417) 877-1385 TELEPHONE

REPAIRS TO EXTERIOR FACADE

LANDERS STATE OFFICE
BUILDING
149 PARK CENTRAL SQUARE
SPRINGFIELD, MISSOURI

PROJECT #	O1920-01
SITE #	1004
ASSET #	3101004001

REVISION: _____
DATE: _____
REVISION: _____
DATE: _____
REVISION: _____
DATE: _____
ISSUE DATE: 09/29/22

CAD DWG FILE: 01920-01-1004-3101004001-A-101
 DRAWN BY: RV-BW
 CHECKED BY: BWW
 DESIGNED BY: RV-LG

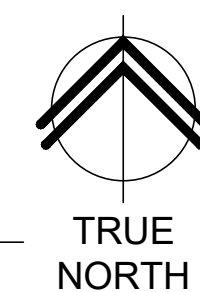
SHEET TITLE:

FIRST FLOOR PLAN & GENERAL NOTES

SHEET NUMBER:

A-101

2 OF 6 SHEETS
09/29/22



T.O. MAS
EL. = 225'-9"

PENTHOUSE FLR.
EL. = 213'-8"

MECH. CHASE
EL. = 204'-8"

TENTH FLOOR
EL. = 195'-8"

NINTH FLOOR
EL. = 185'-8 1/2"

EIGHTH FLOOR
EL. = 175'-9"

SEVENTH FLOOR
EL. = 165'-9 1/2"

SIXTH FLOOR
EL. = 155'-10"

FIFTH FLOOR
EL. = 145'-10 1/2"

FOURTH FLOOR
EL. = 135'-11"

THIRD FLOOR
EL. = 125'-11 1/2"

SECOND FLOOR
EL. = 116'-0"

FIRST FLOOR
EL. = 100'-0"

1 SOUTH ELEVATION

1/8" = 1'-0"



2 PHOTO
A201 N.T.S



8 PHOTO
A201 N.T.S



3 PHOTO
A201 N.T.S



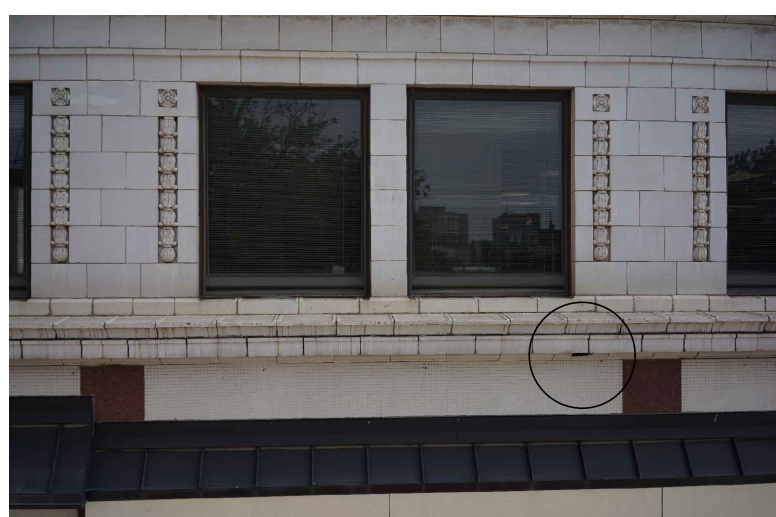
9 PHOTO
A201 N.T.S



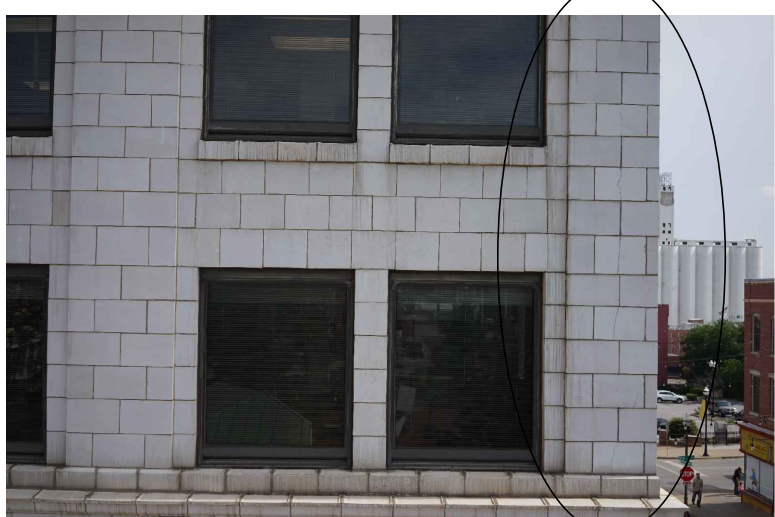
4 PHOTO
A201 N.T.S



10 PHOTO
A201 N.T.S



5 PHOTO
A201 N.T.S



11 PHOTO
A201 N.T.S



6 PHOTO
A201 N.T.S



7 PHOTO
A201 N.T.S

GENERAL NOTES

- REFER TO PROJECT MANUAL AND SHEET A-101 FOR ADDITIONAL REQUIREMENTS.
- (BASE BID) REMOVE AND REPLACE JOINT SEALANTS AT ALL EXISTING DOOR, WINDOW, AND OPENING PERIMETERS. COLOR TO MATCH EXISTING OPENING FRAME FINISH.
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- (ALTERNATE NO. 2) SOUTH AND EAST EXISTING BUILDING EXTERIOR FACADE SURFACES TO BE CLEANED AND PROVIDE WATER REPELLENTS COMPATIBLE WITH SUBSTRATE CONDITIONS.
- (ALTERNATE NO. 3) NORTH AND WEST EXISTING BUILDING EXTERIOR FACADE SURFACES TO BE CLEANED AND PROVIDE WATER REPELLENTS COMPATIBLE WITH SUBSTRATE CONDITIONS.

KEY NOTES

- (BASE BID) AREA TO REMOVE AND REPLACE DEFECTIVE EXISTING MASONRY AND TERRA COTTA MORTAR JOINTS AND TUCK POINT MISSING MORTAR JOINTS. COLOR TO MATCH EXISTING MORTAR.
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STATE OF MISSOURI
MICHAEL L. PARSON,
GOVERNOR

ARCHITECTURAL FIRM REGISTRATION NO.:
ARC 2004028947



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Architects - Consultants

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OFFICE OF ADMINISTRATION
DIVISION OF FACILITIES
MANAGEMENT,
DESIGN AND CONSTRUCTION

REPAIRS TO
EXTERIOR FACADE

LANDERS STATE OFFICE
BUILDING
149 PARK CENTRAL SQUARE
SPRINGFIELD, MISSOURI

PROJECT # 01920-01
SITE # 1004
ASSET # 3101004001

REVISION: _____
DATE: _____
REVISION: _____
DATE: _____
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DATE: _____
ISSUE DATE: 09/29/22

CAD DWG FILE: 01920-01-1004-3101004001-A-201
DRAWN BY: RV-BW
CHECKED BY: BWB
DESIGNED BY: RV-LG

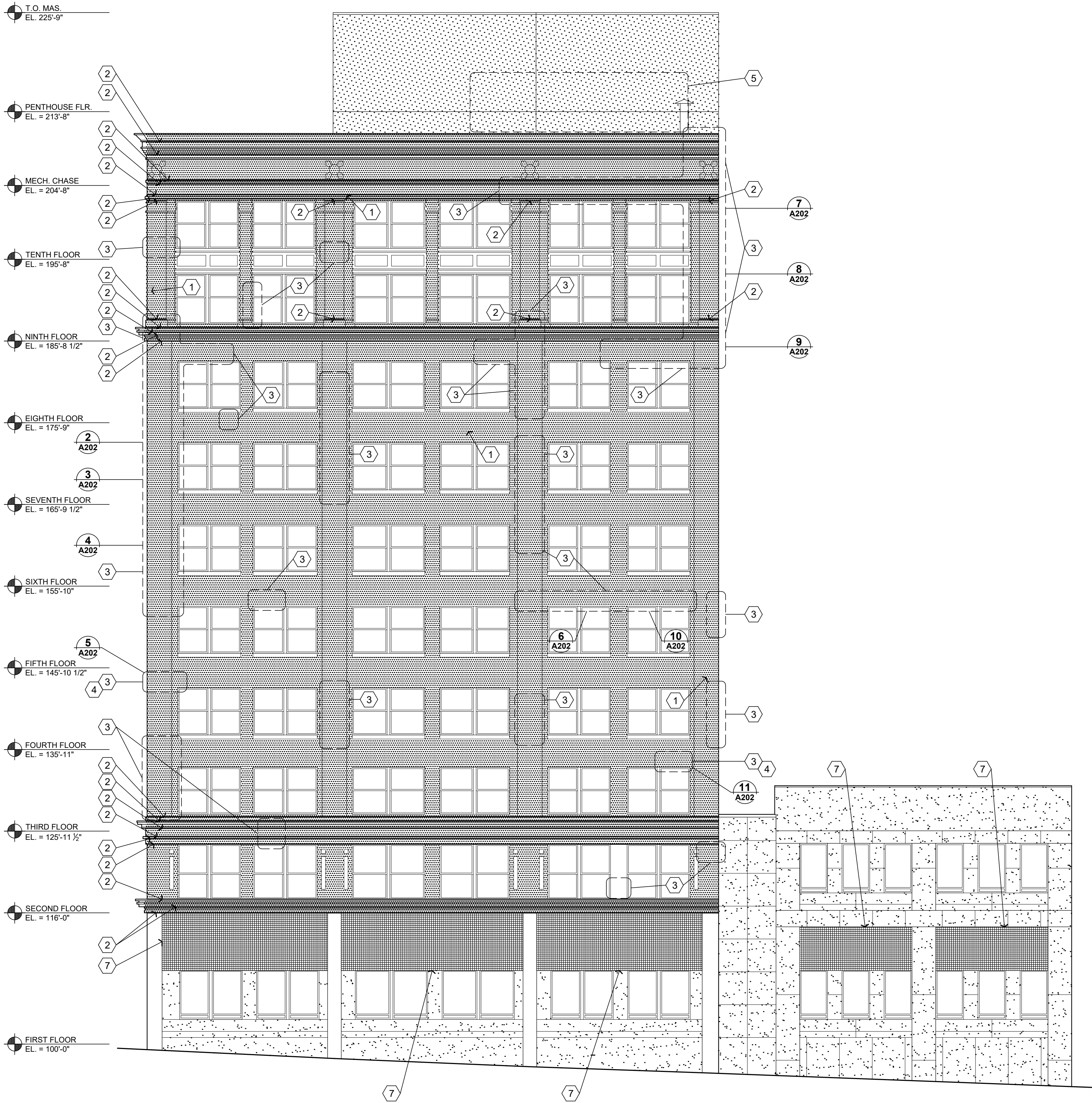
SHEET TITLE:

EXTERIOR
ELEVATIONS

SHEET NUMBER:

A-201

3 OF 6 SHEETS
09/29/22



1 EAST ELEVATION
A202 1/8" = 1'-0"



2 PHOTO
A202 N.T.S



8 PHOTO
A202 N.T.S



3 PHOTO
A202 N.T.S



9 PHOTO
A202 N.T.S



4 PHOTO
A202 N.T.S



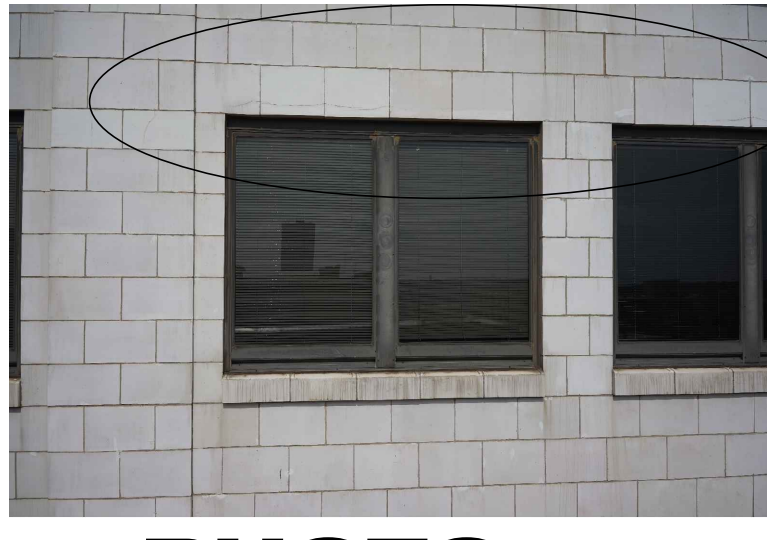
10 PHOTO
A202 N.T.S



5 PHOTO
A202 N.T.S



11 PHOTO
A202 N.T.S



6 PHOTO
A202 N.T.S



7 PHOTO
A202 N.T.S

GENERAL NOTES

- REFER TO PROJECT MANUAL AND SHEET A-101 FOR ADDITIONAL REQUIREMENTS.
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- (ALTERNATE NO. 3) NORTH AND WEST EXISTING BUILDING EXTERIOR FACADE SURFACES TO BE CLEANED AND PROVIDE WATER REPELLENTS COMPATIBLE WITH SUBSTRATE CONDITIONS.

KEY NOTES

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CAD DWG FILE: 01920-01-1004-3101004001-A-202
DRAWN BY: RV-BW
CHECKED BY: BWW
DESIGNED BY: RV-LG

SHEET TITLE:

EXTERIOR
ELEVATIONS

SHEET NUMBER:

A-202

4 OF 6 SHEETS
09/29/22

T.O. MAS
EL. 225'-9"

PENTHOUSE FLR.
EL. = 213'-8"

MECH. CHASE
EL. = 204'-8"

TENTH FLOOR
EL. = 195'-8"

NINTH FLOOR
EL. = 185'-8 1/2"

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THIRD FLOOR
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SECOND FLOOR
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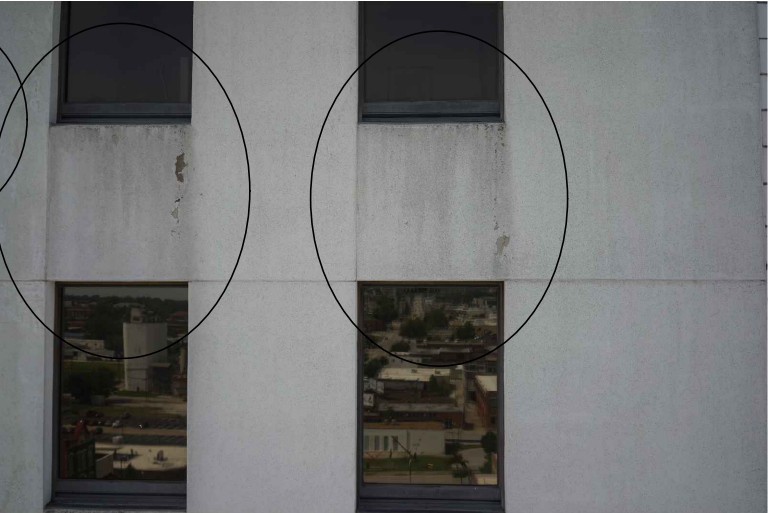
FIRST FLOOR
EL. = 100'-0"

1 NORTH ELEVATION

A203 1/8" = 1'-0"



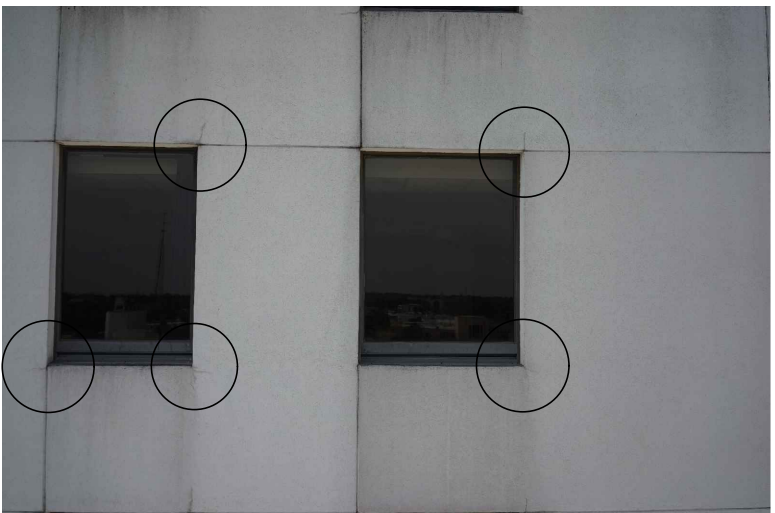
2 PHOTO
A203 N.T.S



8 PHOTO
A203 N.T.S



3 PHOTO
A203 N.T.S



4 PHOTO
A203 N.T.S



5 PHOTO
A203 N.T.S



6 PHOTO
A203 N.T.S



7 PHOTO
A203 N.T.S

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KEY NOTES

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- (ALTERNATE NO. 1) AREA TO REPAIR EXISTING DAMAGED SURFACES OR CRACKED TERRA COTTA. MATCH EXISTING TERRA COTTA FINISH.
- (ALTERNATE NO. 1) AREA TO REMOVE AND REPLACE EXISTING DEFECTIVE EXTERIOR INSULATION FINISH SYSTEM (EIFS). PROVIDE WORK PER MANUFACTURER'S RECOMMENDATIONS FOR PROJECT CONDITIONS. FINISH TO MATCH EXISTING.
- (ALTERNATE NO. 1) AREA TO REPAIR DAMAGED SURFACE OR CRACKING EXISTING EXTERIOR INSULATION FINISH SYSTEM (EIFS). VERIFY THERE IS NO DEFECTS TO REINFORCEMENT MESH, BASE INSULATION, OR WEATHER BARRIER PRIOR TO APPLICATION OF SURFACE COATINGS. PROVIDE WORK REQUIRED PER MANUFACTURER'S RECOMMENDATIONS FOR PROJECT CONDITIONS. FINISH TO MATCH EXISTING.
- (ALTERNATE NO. 1) AREA TO REPAIR AND/OR REPLACE EXISTING DAMAGED OR MISSING MOSAIC TILE. FINISH TO MATCH EXISTING.

STATE OF MISSOURI
MICHAEL L. PARSON,
GOVERNOR

ARCHITECTURAL FIRM REGISTRATION NO.:
ARC 2004028947



SHEETS BEARING THIS SEAL ARE AUTHENTICATED,
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SPECIFICATIONS OR INSTRUMENTS ARE DISCLAIMED.

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OFFICE OF ADMINISTRATION
DIVISION OF FACILITIES
MANAGEMENT,
DESIGN AND CONSTRUCTION

REPAIRS TO
EXTERIOR FACADE

LANDERS STATE OFFICE
BUILDING
149 PARK CENTRAL SQUARE
SPRINGFIELD, MISSOURI

PROJECT # 01920-01
SITE # 1004
ASSET # 3101004001

REVISION: _____
DATE: _____
REVISION: _____
DATE: _____
REVISION: _____
DATE: _____
ISSUE DATE: 09/29/22

CAD DWG FILE: 01920-01-1004-3101004001-A-203
DRAWN BY: RV-BW
CHECKED BY: BWB
DESIGNED BY: RV-LG

SHEET TITLE:
EXTERIOR
ELEVATIONS

SHEET NUMBER:

A-203

5 OF 6 SHEETS
09/29/22



- 1 (BASE BID) AREA TO REMOVE AND REPLACE DEFECTIVE EXISTING MASONRY AND TERRA COTTA MORTAR JOINTS AND TUCK POINT MISSING MORTAR JOINTS. COLOR TO MATCH EXISTING MORTAR.
- 2 (BASE BID) AREA TO REMOVE AND REPLACE JOINT SEALANTS AT ALL EXISTING MASONRY AND TERRA COTTA SEALANT JOINTS. COLORS TO MATCH EXISTING MASONRY FINISHES.
- 3 (ALTERNATE NO. 1) AREA TO REPAIR OR REPLACE EXISTING DAMAGED TERRA COTTA. MATCH EXISTING TERRA COTTA FINISH.
- 4 (ALTERNATE NO. 1) AREA TO REPAIR EXISTING DAMAGED SURFACES OR CRACKED TERRA COTTA. MATCH EXISTING TERRA COTTA FINISH.
- 5 (ALTERNATE NO. 1) AREA TO REMOVE AND REPLACE EXISTING DEFECTIVE EXTERIOR INSULATION FINISH SYSTEM (EIFS). PROVIDE WORK PER MANUFACTURER'S RECOMMENDATIONS FOR PROJECT CONDITIONS. FINISH TO MATCH EXISTING.
- 6 (ALTERNATE NO. 1) AREA TO REPAIR DAMAGED SURFACES OR CRACKING EXISTING EXTERIOR INSULATION FINISH SYSTEM (EIFS). VERIFY THERE IS NO DEFECTS TO REINFORCEMENT MESH, BASE INSULATION, OR WEATHER WRAP PRIOR TO REPAIR OR REPAIR OF DEFECTS. PROVIDE WORK REQUIRED PER MANUFACTURER'S RECOMMENDATIONS FOR PROJECT CONDITIONS. FINISH TO MATCH EXISTING.
- 7 (ALTERNATE NO. 1) AREA TO REPAIR AND/OR REPLACE EXISTING DAMAGED OR MISSING MOSAIC TILE. FINISH TO MATCH EXISTING.

5 OF 6 SHEETS
09/29/22