

# REPLACE CARPET AND PAINT SUITE 670 REVENUE HARRY S. TRUMAN STATE OFFICE BUILDING JEFFERSON CITY , MISSOURI

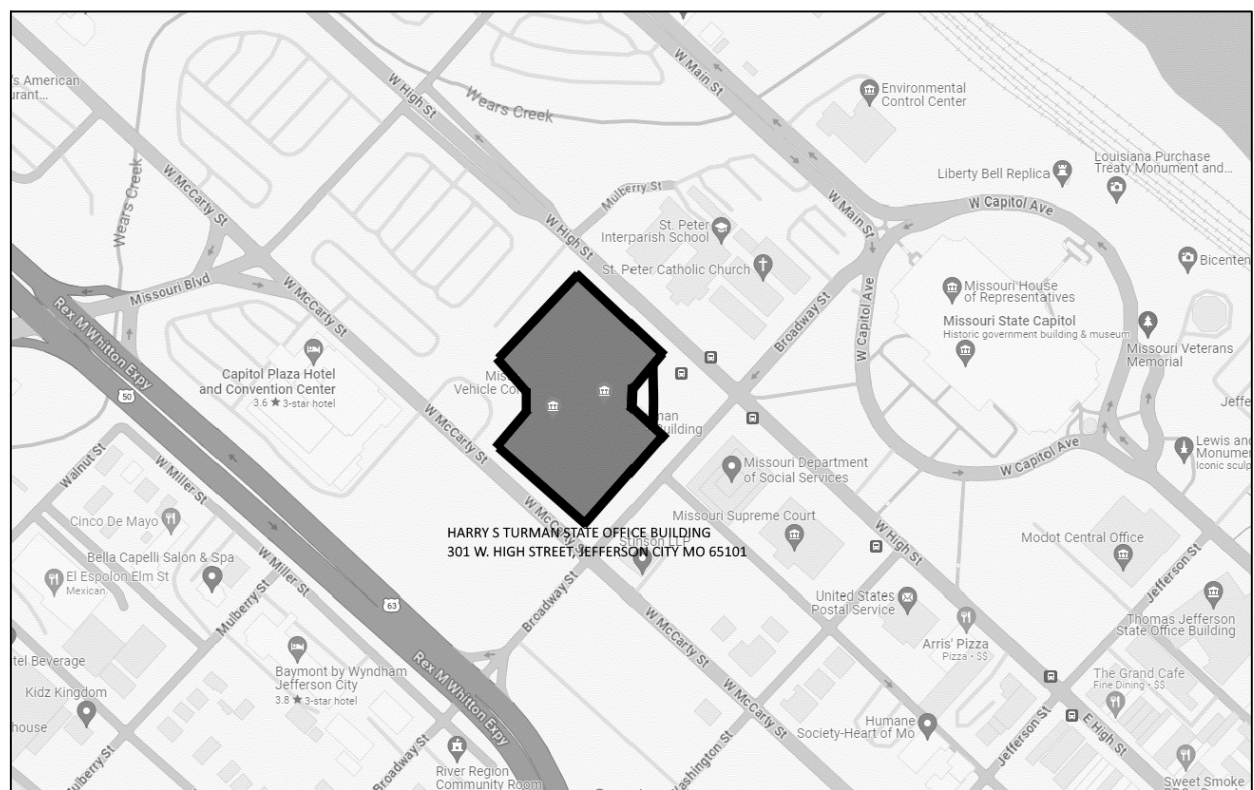
OWNER: STATE OF MISSOURI  
MIKE KEHOE,  
GOVERNOR  
  
OFFICE OF ADMINISTRATION

DESIGNER: STATE OF MISSOURI  
OA-FMDC PROJECT DESIGN UNIT  
301 W. HIGH STREET  
JEFFERSON CITY, MO 65101

PROJECT  
MANAGEMENT: OFFICE OF ADMINISTRATION  
DIVISION OF FACILITIES MANAGEMENT,  
DESIGN AND CONSTRUCTION

PROJECT NUMBER: O242101

LOCATION MAP:



HARRY S. TRUMAN STATE OFFICE BUILDING  
301 W. HIGH, JEFFERSON CITY MO 65101



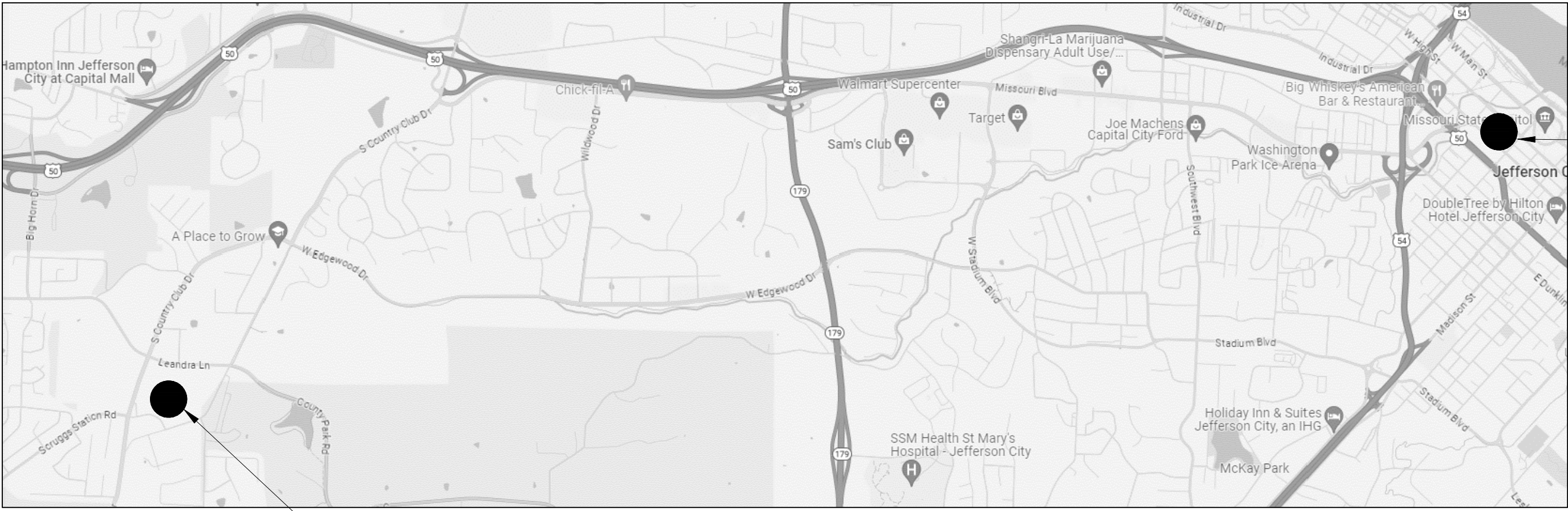
ASSET NUMBER: 3101001050-HARRY S TRUMAN STATE OFFICE BUILDING

SHEET LIST:
G-001 TITLE SHEET G-002 SITE MAP, KEY PLANS, & PHASING PLAN A-101 CARPET DEMOLITION AND NEW WORK PLAN A-102 ALTERNATE #1 - PAINT LOCATION PLAN A-103 ALTERNATE #2 - REF. CEILING PLAN - CLG. TILE DEMOLITION & NEW WORK

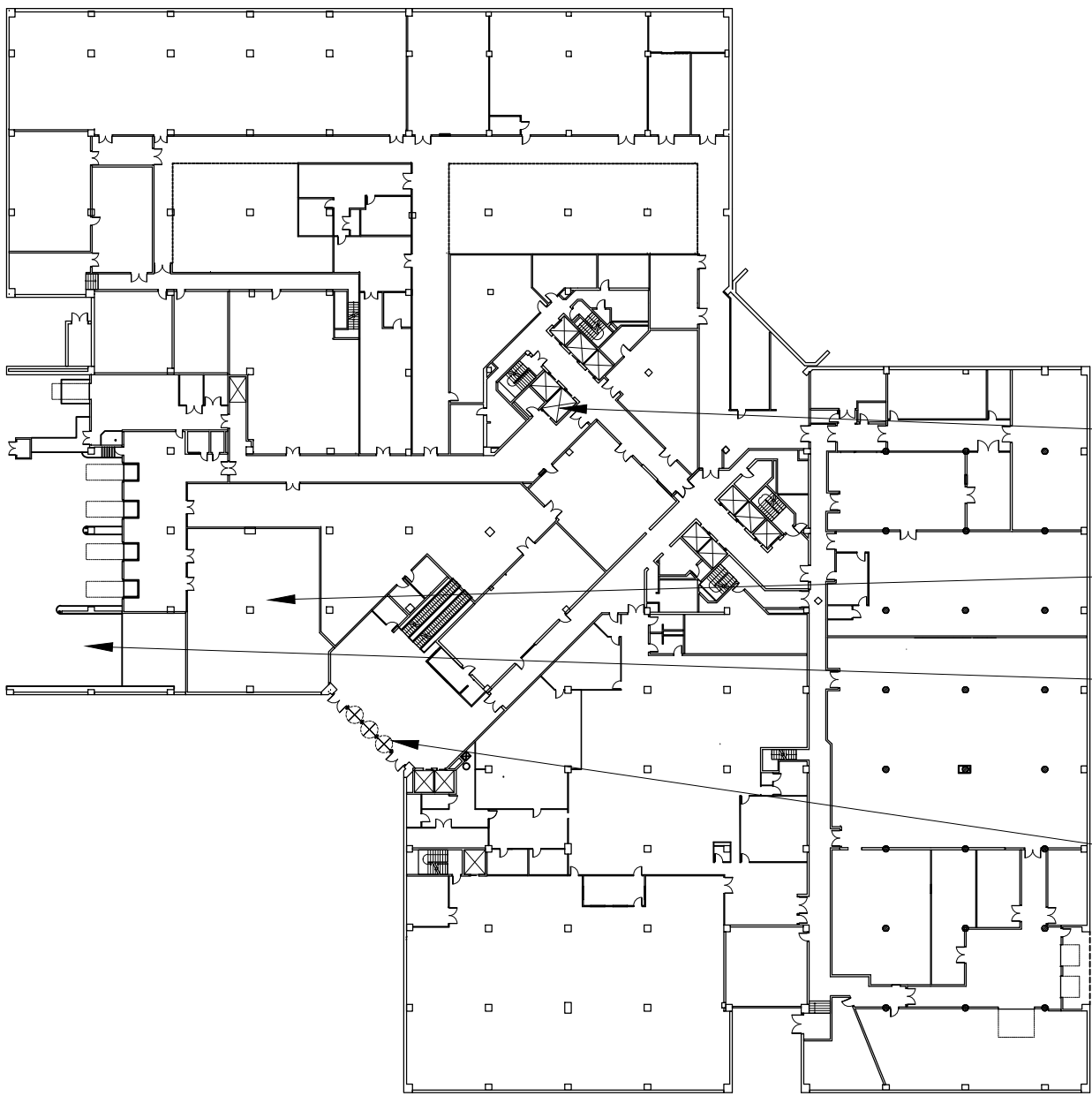
SHEET NUMBER:

G-001

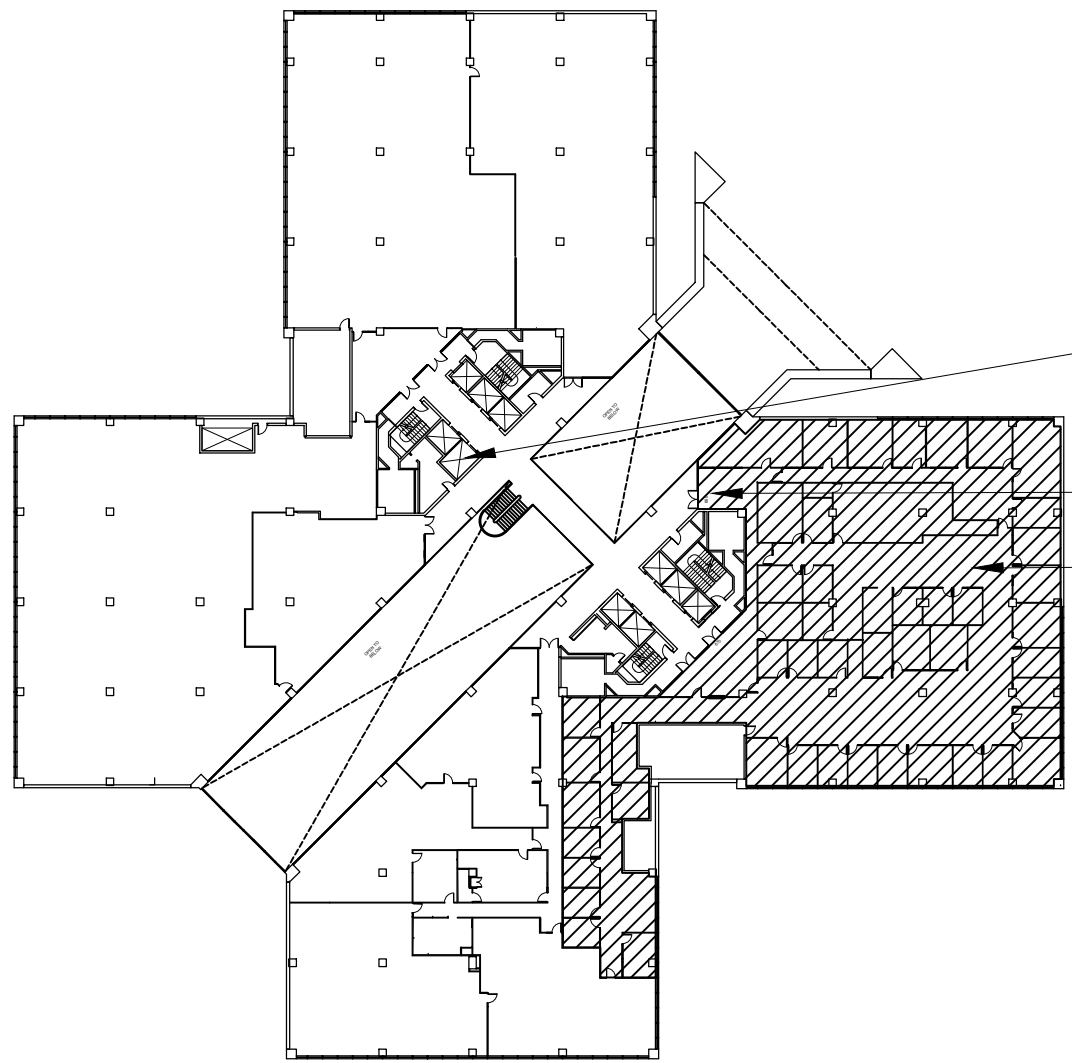
1 OF 5 SHEETS  
07/17/2025



1 SITE LOCATIONS  
NOT TO SCALE

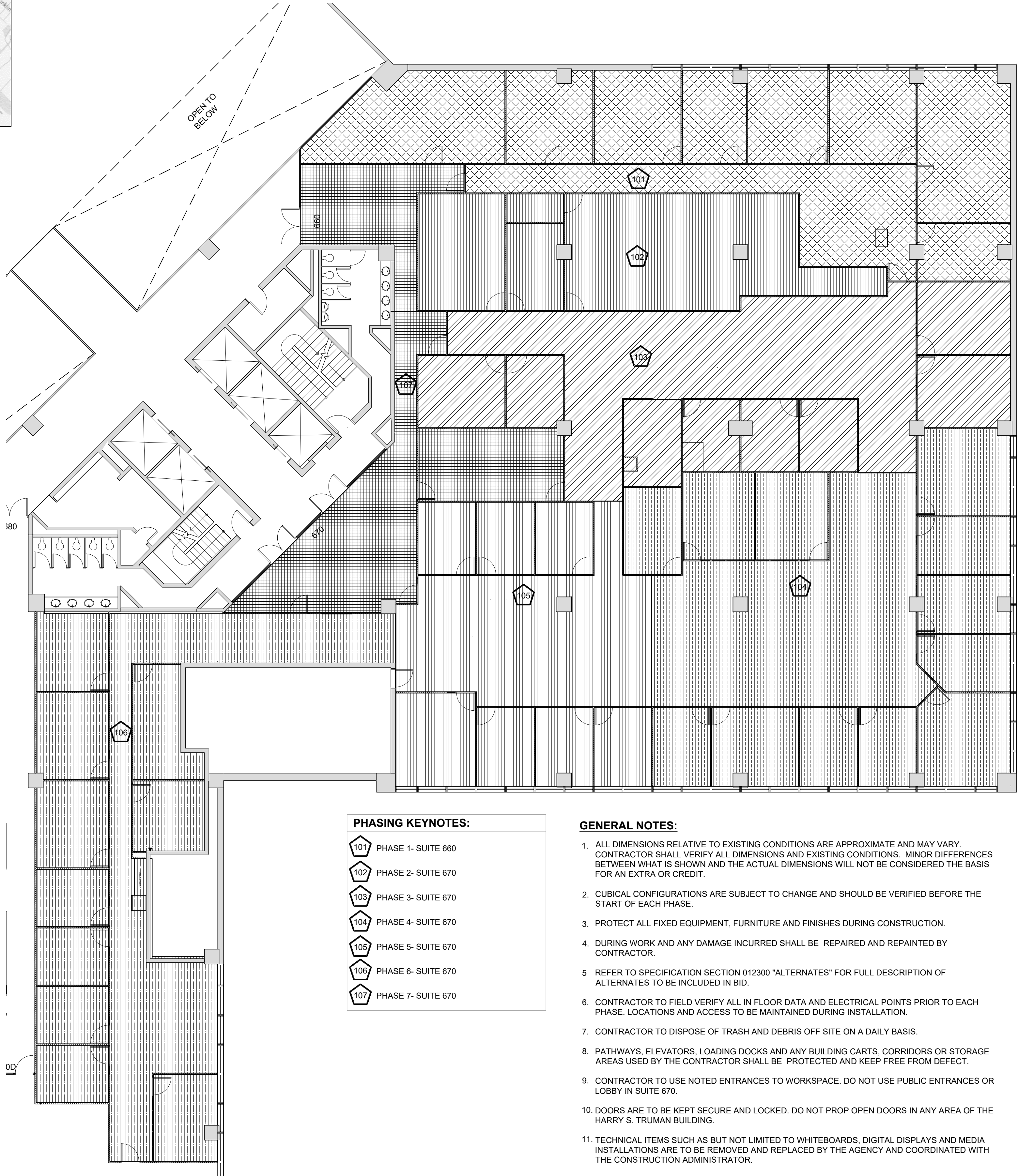


2 TRUMAN BUILDING FIRST FLOOR SITE DIAGRAM  
NOT TO SCALE



3 TRUMAN BUILDING SIXTH FLOOR SITE DIAGRAM  
NOT TO SCALE

HARRY STATE TRUMAN BUILDING - 301 WEST HIGH ST., JEFFERSON CITY MO. 65101



4 SUITE 670 PROJECT PHASING DIAGRAM  
SCALE: 3/32" = 1'-0"

STATE OF MISSOURI  
MIKE KEHOE,  
GOVERNOR



Brad M. Schaefer - Architect  
MO# A-2009027294

BID DOCUMENTS

OFFICE OF  
ADMINISTRATION  
DIVISION OF FACILITIES  
MANAGEMENT / DESIGN  
AND CONSTRUCTION

DEPT. OF REVENUE  
DIRECTOR'S SUITE &  
LEGAL SERVICES

REPLACE CARPET  
& PAINT  
SUITE 670 REVENUE

HARRY S. TRUMAN  
STATE OFFICE BUILDING  
301 W. HIGH ST.  
SUITE 670  
JEFFERSON CITY, MO 65101

PROJECT # O242101  
SITE # 0001  
FACILITY # 05020

REVISION: \_\_\_\_\_  
DATE: \_\_\_\_\_  
REVISION: \_\_\_\_\_  
DATE: \_\_\_\_\_  
REVISION: \_\_\_\_\_  
DATE: \_\_\_\_\_  
ISSUE DATE: 07/17/2025

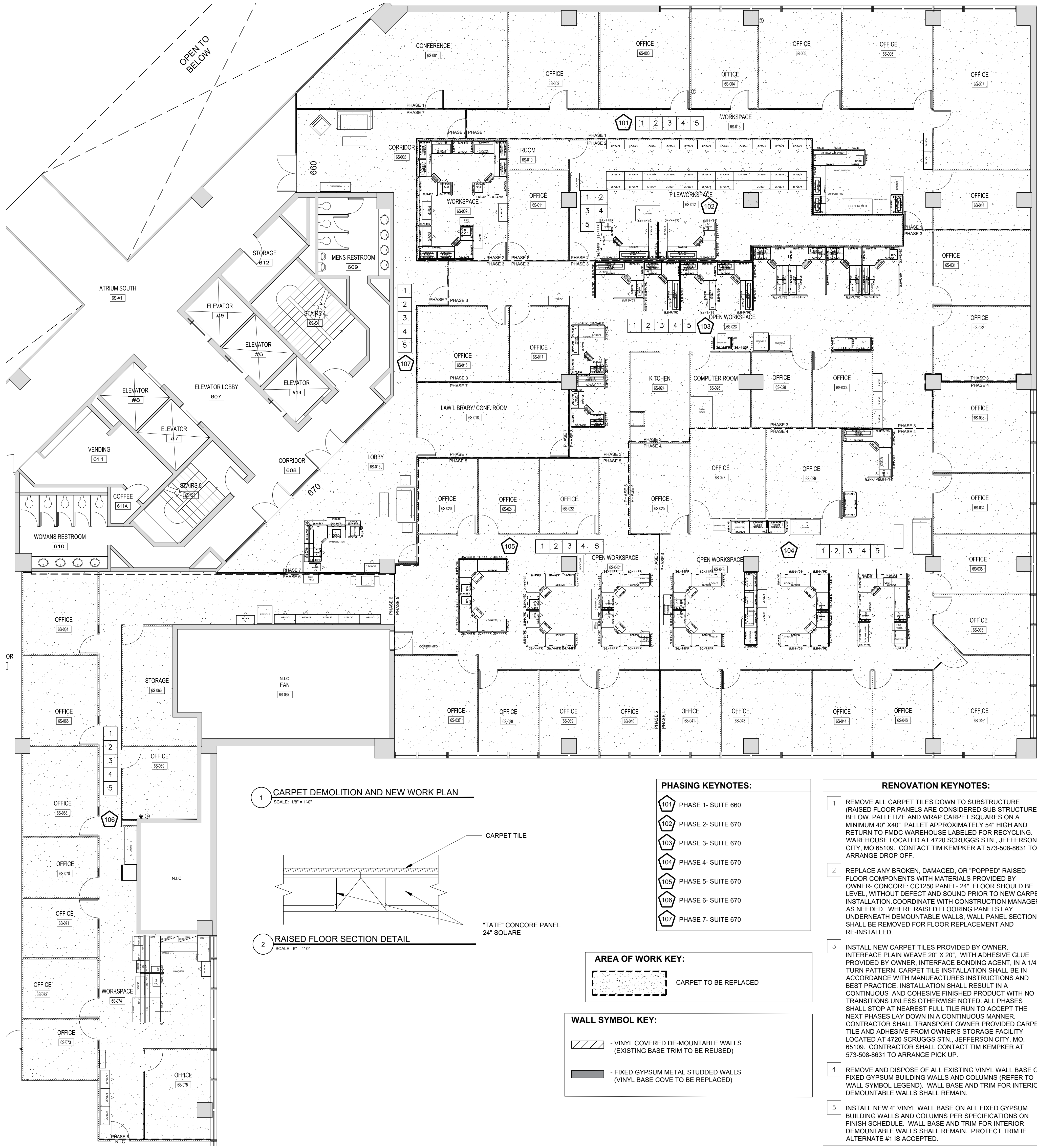
CAD DWG FILE: \_\_\_\_\_  
DRAWN BY: CMC  
CHECKED BY: BMS  
DESIGNED BY: CMC

SHEET TITLE:  
SITE MAP,  
KEY PLANS, &  
PHASING PLAN

SHEET NUMBER:

G-002

SHEET 2 OF 5



1 CARPET DEMOLITION AND NEW WORK PLAN  
SCALE: 1/8" = 1'-0"

2 RAISED FLOOR SECTION DETAIL  
SCALE: 6" = 1'-0"

PHASING KEYNOTES:

- 101 PHASE 1- SUITE 660
- 102 PHASE 2- SUITE 670
- 103 PHASE 3- SUITE 670
- 104 PHASE 4- SUITE 670
- 105 PHASE 5- SUITE 670
- 106 PHASE 6- SUITE 670
- 107 PHASE 7- SUITE 670

AREA OF WORK KEY:

- CARPET TO BE REPLACED

WALL SYMBOL KEY:

- VINYL COVERED DE-MOUNTABLE WALLS (EXISTING BASE TRIM TO BE REUSED)
- FIXED GYPSUM METAL STUDDED WALLS (VINYL BASE COVE TO BE REPLACED)

RENOVATION KEYNOTES:

- REMOVE ALL CARPET TILES DOWN TO SUBSTRUCTURE (RAISED FLOOR PANELS ARE CONSIDERED SUB STRUCTURE) BELOW. PALLETIZE AND WRAP CARPET SQUARES ON A MINIMUM 40" X40" PALLET APPROXIMATELY 54" HIGH AND RETURN TO FMDC WAREHOUSE LABELED FOR RECYCLING. WAREHOUSE LOCATED AT 4720 SCRUGGS STN., JEFFERSON CITY, MO 65109. CONTACT TIM KEMPKER AT 573-508-8631 TO ARRANGE DROP OFF.
- REPLACE ANY BROKEN, DAMAGED, OR "POPPED" RAISED FLOOR COMPONENTS WITH MATERIALS PROVIDED BY OWNER- CONCORE- CC1250 PANEL- 24". FLOOR SHOULD BE LEVEL, WITHOUT DEFECT AND SOUND PRIOR TO NEW CARPET INSTALLATION COORDINATE WITH CONSTRUCTION MANAGER AS NEEDED. WHERE RAISED FLOORING PANELS LAY UNDERNEATH DEMOUNTABLE WALLS, WALL PANEL SECTIONS SHALL BE REMOVED FOR FLOOR REPLACEMENT AND RE-INSTALLED.
- INSTALL NEW CARPET TILES PROVIDED BY OWNER. INTERFACE PLAIN WEAVE 20" X 20", WITH ADHESIVE GLUE PROVIDED BY OWNER, INTERFACE BONDING AGENT, IN A 1/4 TURN PATTERN. CARPET TILE INSTALLATION SHALL BE IN ACCORDANCE WITH MANUFACTURES INSTRUCTIONS AND BEST PRACTICE. INSTALLATION SHALL RESULT IN A CONTINUOUS AND COHESIVE FINISHED PRODUCT WITH NO TRANSITIONS UNLESS OTHERWISE NOTED. ALL PHASES SHALL STOP AT NEAREST FULL TILE RUN TO ACCEPT THE NEXT PHASES LAY DOWN IN A CONTINUOUS MANNER. CONTRACTOR SHALL TRANSPORT OWNER PROVIDED CARPET TILE AND ADHESIVE FROM OWNER'S STORAGE FACILITY LOCATED AT 4720 SCRUGGS STN., JEFFERSON CITY, MO, 65109. CONTRACTOR SHALL CONTACT TIM KEMPKER AT 573-508-8631 TO ARRANGE PICK UP.
- REMOVE AND DISPOSE OF ALL EXISTING VINYL WALL BASE ON FIXED GYPSUM BUILDING WALLS AND COLUMNS (REFER TO WALL SYMBOL LEGEND). WALL BASE AND TRIM FOR INTERIOR DEMOUNTABLE WALLS SHALL REMAIN.
- INSTALL NEW 4" VINYL WALL BASE ON ALL FIXED GYPSUM BUILDING WALLS AND COLUMNS PER SPECIFICATIONS ON FINISH SCHEDULE. WALL BASE AND TRIM FOR INTERIOR DEMOUNTABLE WALLS SHALL REMAIN. PROTECT TRIM IF ALTERNATE #1 IS ACCEPTED.

ROOM FINISH SCHEDULE

ROOM			FINISH				
PHASE	NUMBER	NAME	AREA	PAINT	FLOORING	WALL BASE	NOTES
Phase 1	6S-001	CONFERENCE	452 Sq.Ft.	(1)	(3)	(4)(5)	---
	6S-002	OFFICE	230 Sq.Ft.	(1)	(3)	(4)(5)	---
	6S-003	OFFICE	235 Sq.Ft.	(1)	(3)	(4)(5)	---
	6S-004	OFFICE	168 Sq.Ft.	(1)	(3)	(4)(5)	---
	6S-005	OFFICE	217 Sq.Ft.	(1)	(3)	(4)(5)	---
	6S-006	OFFICE	232 Sq.Ft.	(1)	(3)	(4)(5)	---
	6S-007	OFFICE	404 Sq.Ft.	N.I.C	(3)	(4)(5)	---
	6S-013	WORKSPACE	626 Sq.Ft.	(1)(2)	(3)	(4)(5)	---
	6S-014	OFFICE	148 Sq.Ft.	(1)	(3)	(4)(5)	---
Phase 2			2711 Sq.Ft.				
	6S-009	WORKSPACE	294 Sq.Ft.	(1)	(3)	(5)	---
	6S-010	ROOM	47 Sq.Ft.	(1)	(3)	(5)	---
	6S-011	OFFICE	142 Sq.Ft.	(1)	(3)	(4)(5)	---
	6S-012	FILE/WORKSPACE	833 Sq.Ft.	(1)	(3)	(4)(5)	---
Phase 3			1316 Sq.Ft.				
	6S-016	OFFICE	182 Sq.Ft.	(1)	(3)	(5)	---
	6S-017	OFFICE	119 Sq.Ft.	(1)	(3)	(4)(5)	---
	6S-023	OPEN WORKSPACE	1410 Sq.Ft.	(1)(2)	(3)	(4)(5)	---
	6S-024	KITCHEN	145 Sq.Ft.	(1)	(3)	(5)	---
	6S-026	COMPUTER ROOM	116 Sq.Ft.	(1)	(3)	(4)(5)	---
	6S-028	OFFICE	116 Sq.Ft.	(1)	(3)	(4)(5)	---
	6S-030	OFFICE	121 Sq.Ft.	(1)	(3)	(5)	---
	6S-031	OFFICE	196 Sq.Ft.	(1)	(3)	(4)(5)	---
	6S-032	OFFICE	192 Sq.Ft.	(1)	(3)	(4)(5)	---
Phase 4			2598 Sq.Ft.				
	6S-025	OFFICE	145 Sq.Ft.	(1)	(3)	(5)	---
	6S-027	OFFICE	182 Sq.Ft.	(1)	(3)	(5)	---
	6S-029	OFFICE	182 Sq.Ft.	(1)	(3)	(5)	---
	6S-033	OFFICE	232 Sq.Ft.	(1)	(3)	(4)(5)	---
	6S-034	OFFICE	156 Sq.Ft.	(1)	(3)	(4)(5)	---
	6S-035	OFFICE	148 Sq.Ft.	(1)	(3)	(4)(5)	---
	6S-036	OFFICE	144 Sq.Ft.	(1)	(3)	(4)(5)	---
	6S-041	OFFICE	131 Sq.Ft.	(1)	(3)	(4)(5)	---
	6S-043	OFFICE	193 Sq.Ft.	(1)	(3)	(4)(5)	---
	6S-044	OFFICE	131 Sq.Ft.	(1)	(3)	(4)(5)	---
	6S-045	OFFICE	129 Sq.Ft.	(1)	(3)	(4)(5)	---
	6S-046	OFFICE	244 Sq.Ft.	(1)	(3)	(4)(5)	---
	6S-048	OPEN WORKSPACE	1330 Sq.Ft.	(1)	(3)	(4)(5)	---
Phase 5			3348 Sq.Ft.				
	6S-020	OFFICE	121 Sq.Ft.	(1)	(3)	(5)	---
	6S-021	OFFICE	120 Sq.Ft.	(1)	(3)	(5)	---
	6S-022	OFFICE	120 Sq.Ft.	(1)	(3)	(5)	---
	6S-037	OFFICE	217 Sq.Ft.	(1)	(3)	(4)(5)	---
	6S-038	OFFICE	131 Sq.Ft.	(1)	(3)	(4)(5)	---
	6S-039	OFFICE	126 Sq.Ft.	(1)	(3)	(4)(5)	---
	6S-040	OFFICE	131 Sq.Ft.	(1)	(3)	(4)(5)	---
	6S-042	OPEN WORKSPACE	975 Sq.Ft.	(1)	(3)	(4)(5)	---
			1943 Sq.Ft.				
Phase 6	6S-064	OFFICE	164 Sq.Ft.	(1)	(3)	(4)(5)	---
	6S-065	OFFICE	180 Sq.Ft.	(1)	(3)	(4)(5)	---
	6S-066	STORAGE	179 Sq.Ft.	(1)	(3)	(4)(5)	---
	6S-068	OFFICE	180 Sq.Ft.	(1)	(3)	(4)(5)	---
	6S-069	OFFICE	147 Sq.Ft.	(1)	(3)	(4)(5)	---
	6S-070	OFFICE	120 Sq.Ft.	(1)	(3)	(5)	---
	6S-071	OFFICE	120 Sq.Ft.	(1)	(3)	(5)	---
	6S-072	OFFICE	120 Sq.Ft.	(1)	(3)	(5)	---
	6S-073	OFFICE	120 Sq.Ft.	(1)	(3)	(5)	---
	6S-074	WORKSPACE	1118 Sq.Ft.	(1), (2)	(3)	(4)(5)	---
Phase 7	6S-075	OFFICE	156 Sq.Ft.	(1)	(3)	(4)(5)	---
			2603 Sq.Ft.				
	6S-008	CORRIDOR	352 Sq.Ft.	(1)	(3)	(4)(5)	---
	6S-015	LOBBY	643 Sq.Ft.	(1)	(3)	(4)(5)	---
	6S-018	LAW LIBRARY/ CONF. ROOM	306 Sq.Ft.	(1)	(3)	(4)(5)	---
		1301 Sq.Ft.					
		15820 Sq.Ft.					

- (1) BASE WALL PAINT COLOR: SHERWIN WILLIAMS, SW7012 CREAMY.  
(ALL PAINT SHALL BE EG-SHEL/SATIN LATEX ENAMEL WITH WASHABLE/SCRUB-ABLE FINISH.)
- (2) ACCENT WALL PAINT COLOR: SHERWIN-WILLIAMS, EG-SHEL, SW6515 LEISURE BLUE. **PAINT WALL BETWEEN ARROWS SHOWN ON ENLARGED PLANS**
- (3) INTERFACE- CUSTOM PLAIN WEAVE #270965, 20oz. 50CMX50CM = 19.75", QUARTER TURN  
OWNER TO SUPPLY CARPET- N.I.C.
- (4) 4" COVE WALL BASE: JOHNSONITE 283 "TOAST"  
(SEE PLAN FOR WALL BASE TYPE LOCATION)
- (5) EXISTING DE-MOUNTABLE PLASTIC BASE TRIM TO RE-INSTALLED  
(SEE PLAN FOR WALL BASE TYPE LOCATION)

GENERAL NOTES:

- ALL DIMENSIONS RELATIVE TO EXISTING CONDITIONS ARE APPROXIMATE AND MAY VARY. CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND EXISTING CONDITIONS. MINOR DIFFERENCES BETWEEN WHAT IS SHOWN AND THE ACTUAL DIMENSIONS WILL NOT BE CONSIDERED THE BASIS FOR AN EXTRA OR CREDIT.
- CUBICAL CONFIGURATIONS ARE SUBJECT TO CHANGE AND SHOULD BE VERIFIED BEFORE THE START OF EACH PHASE.
- PROTECT ALL FIXED EQUIPMENT, FURNITURE AND FINISHES DURING CONSTRUCTION.
- DURING WORK AND ANY DAMAGE INCURRED SHALL BE REPAIRED AND REPAYED BY CONTRACTOR.
- REFER TO SPECIFICATION SECTION 012300 "ALTERNATES" FOR FULL DESCRIPTION OF ALTERNATES TO BE INCLUDED IN BID.
- CONTRACTOR TO FIELD VERIFY ALL IN FLOOR DATA AND ELECTRICAL POINTS PRIOR TO EACH PHASE. LOCATIONS AND ACCESS TO BE MAINTAINED DURING INSTALLATION.
- CONTRACTOR TO DISPOSE OF TRASH AND DEBRIS OFF SITE ON A DAILY BASIS.
- PATHWAYS, ELEVATORS, LOADING DOCKS AND ANY BUILDING CARTS, CORRIDORS OR STORAGE AREAS USED BY THE CONTRACTOR SHALL BE PROTECTED AND KEEP FREE FROM DEFECT.
- CONTRACTOR TO USE NOTED ENTRANCES TO WORKSPACE. DO NOT USE PUBLIC ENTRANCES OR LOBBY IN SUITE 670.
- DOORS ARE TO BE KEPT SECURE AND LOCKED. DO NOT PROP OPEN DOORS IN ANY AREA OF THE HARRY S. TRUMAN BUILDING.
- TECHNICAL ITEMS SUCH AS BUT NOT LIMITED TO WHITEBOARDS, DIGITAL DISPLAYS AND MEDIA INSTALLATIONS ARE TO BE REMOVED AND REPLACED BY THE AGENCY AND COORDINATED WITH THE CONSTRUCTION ADMINISTRATOR.

CARPET DEMOLITION & NEW WORK GENERAL NOTES:

- ALL CUBICAL CONFIGURATIONS, SHELVES, FILES, AND NON PERSONAL FURNITURE SHALL REMAIN IN THE SUITE FOR THE DURATION OF THE PROJECT.
- CONTRACTOR SHALL MOVE OR LIFT AND REPLACE ALL FURNITURE ITEMS PER PHASE.
- CUBICAL STRUCTURES ARE TO BE LIFTED IN PLACE OR SLID INTACT SO AS NOT TO FULLY DISASSEMBLE OFFICE SPACE LAYOUTS.
- CUBICLES AND OFFICE SPACES WILL BE EMPTIED OF ALL PERSONAL AND TECHNOLOGY ITEMS BY AGENCY.
- ALL ELECTRICAL AND DATA OUTLETS IN FLOOR SHALL BE RETAINED AND ACCOUNTED FOR IN NEW CARPET INSTALLATION. NEW CARPET TILE SHALL BE CUT AROUND FLOOR OUTLETS. CONTACT CONSTRUCTION ADMINISTRATOR FOR ASSISTANCE REPLACING ANY RAISED FLOOR PANELS BELOW CARPET WITH ELECTRICAL COMPONENTS.
- EXISTING DATA RACK (PDU) TO REMAIN UNDISTURBED AND FUNCTIONAL. CUT AROUND AND TIGHT UP TO EXISTING UNIT. COORDINATE WITH CONSTRUCTION ADMINISTRATOR AS NEEDED.
- PANIC BUTTONS ATTACHED UNDER CUBICLE WORK SURFACES MUST BE MOVED BY FMDC PRIOR TO CUBICLE BEING MOVED OR DISASSEMBLED. PANIC BUTTONS SHALL BE RE-INSTALLED BY FMDC UPON COMPLETION OF AFFECTED CUBICLES. CONTRACTOR TO COORDINATE WITH FMDC WITH AT LEAST 5 DAYS NOTICE.

STATE OF MISSOURI  
MIKE KEHOE,  
GOVERNOR



Brad M. Schaefer - Architect  
MO# A-2009027294

BID DOCUMENTS

OFFICE OF  
ADMINISTRATION  
DIVISION OF FACILITIES  
MANAGEMENT / DESIGN  
AND CONSTRUCTION

DEPT. OF REVENUE  
DIRECTOR'S SUITE &  
LEGAL SERVICES

REPLACE CARPET  
& PAINT  
SUITE 760 REVENUE

HARRY S. TRUMAN  
STATE OFFICE BUILDING  
301 W. HIGH ST.  
SUITE 670  
JEFFERSON CITY, MO 65101

PROJECT # 0242101  
SITE # 0001  
FACILITY # 05020

REVISION: \_\_\_\_\_  
DATE: \_\_\_\_\_  
REVISION: \_\_\_\_\_  
DATE: \_\_\_\_\_  
REVISION: \_\_\_\_\_  
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CAD DWG FILE: \_\_\_\_\_  
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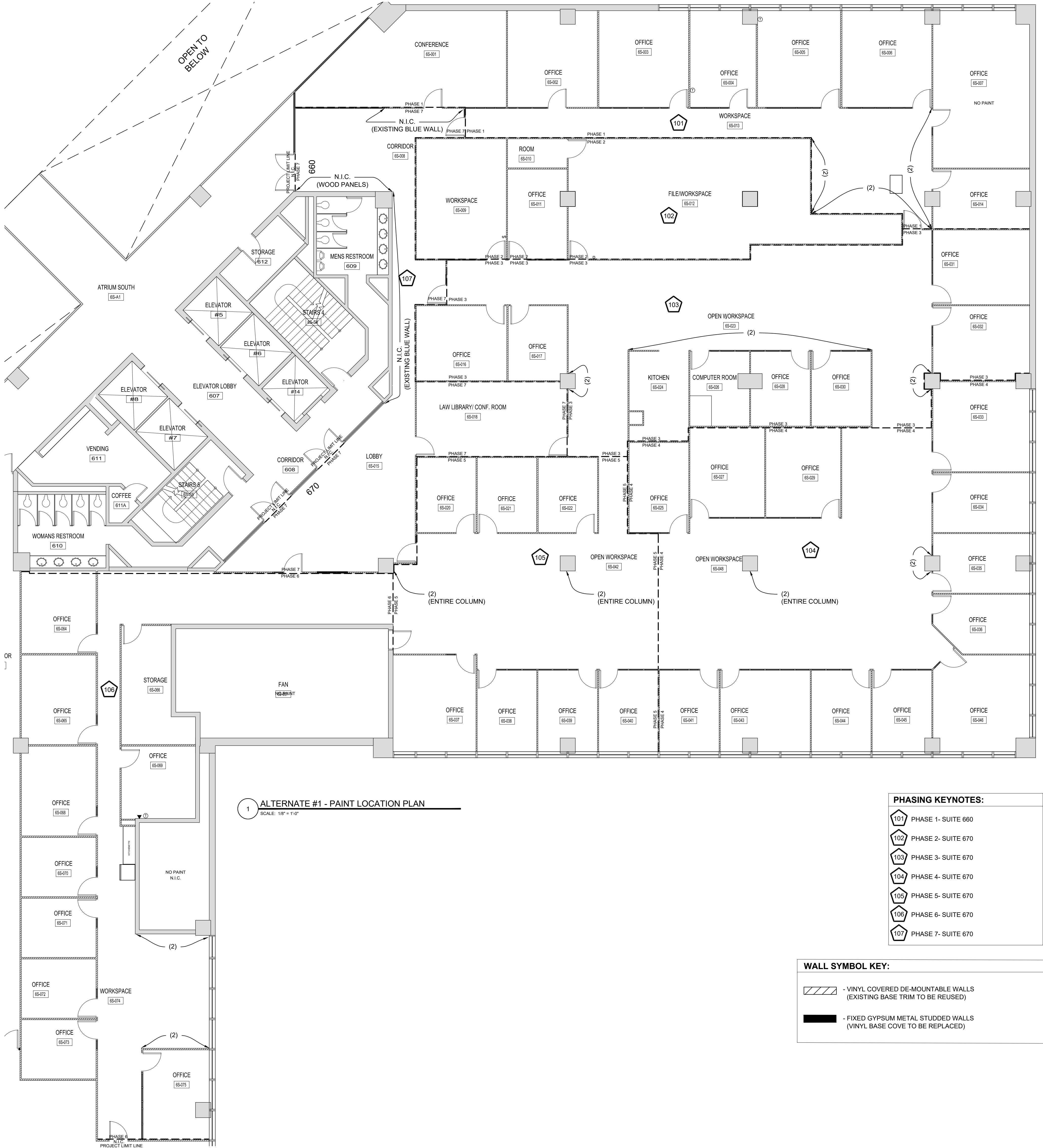
SHEET TITLE:

CARPET  
DEMOLITION AND  
NEW WORK PLAN

SHEET NUMBER:

A-101

SHEET 3 OF 5



ROOM FINISH SCHEDULE						
ROOM			FINISH			
PHASE	NUMBER	NAME	AREA	PAINT	FLOORING	WALL BASE
Phase 1	6S-001	CONFERENCE	452 Sq.Ft.	(1)	(3)	(4)/(5)
	6S-002	OFFICE	230 Sq.Ft.	(1)	(3)	(4)/(5)
	6S-003	OFFICE	235 Sq.Ft.	(1)	(3)	(4)/(5)
	6S-004	OFFICE	168 Sq.Ft.	(1)	(3)	(4)/(5)
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	6S-013	WORKSPACE	626 Sq.Ft.	(1)/(2)	(3)	(4)/(5)
	6S-014	WORKSPACE	148 Sq.Ft.	(1)	(3)	(4)/(5)
			2711 Sq.Ft.			
Phase 2	6S-009	WORKSPACE	294 Sq.Ft.	(1)	(3)	(5)
	6S-010	ROOM	47 Sq.Ft.	(1)	(3)	(5)
	6S-011	OFFICE	142 Sq.Ft.	(1)	(3)	(4)/(5)
	6S-012	FILE/WORKSPACE	833 Sq.Ft.	(1)	(3)	(4)/(5)
Phase 3	6S-016	OFFICE	182 Sq.Ft.	(1)	(3)	(5)
	6S-017	OFFICE	119 Sq.Ft.	(1)	(3)	(4)/(5)
	6S-023	OPEN WORKSPACE	1410 Sq.Ft.	(1)/(2)	(3)	(4)/(5)
	6S-024	KITCHEN	145 Sq.Ft.	(1)	(3)	(5)
	6S-026	COMPUTER ROOM	116 Sq.Ft.	(1)	(3)	(4)/(5)
	6S-028	OFFICE	116 Sq.Ft.	(1)	(3)	(4)/(5)
	6S-030	OFFICE	121 Sq.Ft.	(3)	(5)	(4)/(5)
	6S-031	OFFICE	196 Sq.Ft.	(1)	(3)	(4)/(5)
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			2598 Sq.Ft.			
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	6S-029	OFFICE	182 Sq.Ft.	(1)	(3)	(5)
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	6S-035	OFFICE	148 Sq.Ft.	(1)	(3)	(4)/(5)
	6S-036	OFFICE	144 Sq.Ft.	(1)	(3)	(4)/(5)
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Phase 5	6S-045	OFFICE	129 Sq.Ft.	(1)	(3)	(4)/(5)
	6S-046	OFFICE	244 Sq.Ft.	(1)	(3)	(4)/(5)
	6S-048	OPEN WORKSPACE	1330 Sq.Ft.	(1)	(3)	(4)/(5)
			3348 Sq.Ft.			
	6S-020	OFFICE	121 Sq.Ft.	(1)	(3)	(5)
	6S-021	OFFICE	120 Sq.Ft.	(1)	(3)	(5)
	6S-022	OFFICE	120 Sq.Ft.	(1)	(3)	(5)
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	6S-039	OFFICE	126 Sq.Ft.	(1)	(3)	(4)/(5)
Phase 6	6S-040	OFFICE	131 Sq.Ft.	(1)	(3)	(4)/(5)
	6S-042	OPEN WORKSPACE	975 Sq.Ft.	(1)	(3)	(4)/(5)
			1943 Sq.Ft.			
	6S-064	OFFICE	164 Sq.Ft.	(1)	(3)	(4)/(5)
	6S-065	OFFICE	180 Sq.Ft.	(1)	(3)	(4)/(5)
	6S-066	STORAGE	179 Sq.Ft.	(1)	(3)	(4)/(5)
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	6S-073	OFFICE	120 Sq.Ft.	(1)	(3)	(5)
	6S-074	WORKSPACE	1118 Sq.Ft.	(1), (2)	(3)	(4)/(5)
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			2603 Sq.Ft.			
	6S-008	CORRIDOR	352 Sq.Ft.	(1)	(3)	(4)/(5)
	6S-015	LOBBY	643 Sq.Ft.	(1)	(3)	(4)/(5)
	6S-018	LAW LIBRARY/ CONF. ROOM	306 Sq.Ft.	(1)	(3)	(4)/(5)
			1301 Sq.Ft.			
			13820 Sq.Ft.			

- (1) BASE WALL PAINT COLOR: SHERWIN WILLIAMS, SW7012 CREAMY.  
(ALL PAINT SHALL BE EG-SHEL/SATIN LATEX ENAMEL WITH WASHABLE/SCRUB-ABLE FINISH.)  
(2) ACCENT WALL PAINT COLOR: SHERWIN-WILLIAMS, EG-SHEL, SW6515 LEISURE BLUE. PAINT WALL  
BETWEEN ARROWS SHOWN ON ENLARGED PLANS  
(3) INTERFACE - CUSTOM PLAIN WEAVE #270965, 20oz. 50CMX50CM = 19.75"  
OWNER TO SUPPLY CARPET - N.I.C.  
(4) 4" COVE WALL BASE: JOHNSONITE 283 "TOAST"  
(SEE PLAN FOR WALL BASE TYPE LOCATION)  
(5) EXISTING DE-MOUNTABLE PLASTIC BASE TRIM TO RE-INSTALLED  
(SEE PLAN FOR WALL BASE TYPE LOCATION)

GENERAL NOTES:

- ALL DIMENSIONS RELATIVE TO EXISTING CONDITIONS ARE APPROXIMATE AND MAY VARY. CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND EXISTING CONDITIONS. MINOR DIFFERENCES BETWEEN WHAT IS SHOWN AND THE ACTUAL DIMENSIONS WILL NOT BE CONSIDERED THE BASIS FOR AN EXTRA OR CREDIT.
- CUBICAL CONFIGURATIONS ARE SUBJECT TO CHANGE AND SHOULD BE VERIFIED BEFORE THE START OF EACH PHASE.
- PROTECT ALL FIXED EQUIPMENT, FURNITURE AND FINISHES DURING CONSTRUCTION.
- DURING WORK AND ANY DAMAGE INCURRED SHALL BE REPAIRED AND REPAINTED BY CONTRACTOR.
- REFER TO SPECIFICATION SECTION 012300 "ALTERNATES" FOR FULL DESCRIPTION OF ALTERNATES TO BE INCLUDED IN BID.
- CONTRACTOR TO FIELD VERIFY ALL IN FLOOR DATA AND ELECTRICAL POINTS PRIOR TO EACH PHASE. LOCATIONS AND ACCESS TO BE MAINTAINED DURING INSTALLATION.
- CONTRACTOR TO DISPOSE OF TRASH AND DEBRIS OFF SITE ON A DAILY BASIS.
- PATHWAYS, ELEVATORS, LOADING DOCKS AND ANY BUILDING CARTS, CORRIDORS OR STORAGE AREAS USED BY THE CONTRACTOR SHALL BE PROTECTED AND KEEP FREE FROM DEFECT.
- CONTRACTOR TO USE NOTED ENTRANCES TO WORKSPACE. DO NOT USE PUBLIC ENTRANCES OR LOBBY IN SUITE 670.
- DOORS ARE TO BE KEPT SECURE AND LOCKED. DO NOT PROP OPEN DOORS IN ANY AREA OF THE HARRY S. TRUMAN BUILDING.
- TECHNICAL ITEMS SUCH AS BUT NOT LIMITED TO WHITEBOARDS, DIGITAL DISPLAYS AND MEDIA INSTALLATIONS ARE TO BE REMOVED AND REPLACED BY THE AGENCY AND COORDINATED WITH THE CONSTRUCTION ADMINISTRATOR.

PAINT RENOVATION NOTES:

- UNLESS NOTED OTHERWISE, PAINT ALL WALLS AND COLUMNS WITH-IN PROJECT AREA.
- PAINING SHALL BE COMPLETED PER PROJECT PHASING DIAGRAM.
- REMOVE ALL EXISTING VINYL COVE WALL BASE AND DISPOSE. DEMOUNTABLE PLASTIC WALL TRIM TO REMAIN.
- VINYL COVERED WALLS TO BE REPAIRED AND PREPARED TO A LEVEL 4 FINISH OR GREATER PRIOR TO ANY FINISH BEING APPLIED TO SURFACES.
- VINYL COVERED DEMOUNTABLE WALLS SHALL BE PATCHED AND REPAIRED PRIOR TO ANY FINISH BEING APPLIED TO SURFACE.
- VINYL COVERED DEMOUNTABLE WALLS SHALL BE PAINTED UTILIZING "PITTSBURG PAINT, MANOR HALL", BY PPG PAINTS (PPG INDUSTRIES, INC.).
- VERIFY ALL PAINT COLOR DESIGNATIONS ON THIS SHEET PRIOR TO EACH PHASE WITH OWNER/ CONSTRUCTION MANAGER.
- PAINT TO BE SUPPLIED AND APPLIED BY CONTRACTOR. ALL WALLS TO BE PAINTED BASE COLOR UNLESS SPECIFIED TO BE PAINTED ACCENT COLOR.
- PROTECT ALL NEWLY PAINTED WALLS THROUGHOUT CONSTRUCTION FROM DAMAGE. TOUCH UP ALL FINISHED SURFACES AS NEEDED.

STATE OF MISSOURI  
MIKE KEHOE,  
GOVERNOR



Brad M. Schaefer - Architect  
MO# A-2009027294

BID DOCUMENTS

OFFICE OF  
ADMINISTRATION  
DIVISION OF FACILITIES  
MANAGEMENT / DESIGN  
AND CONSTRUCTION

DEPT. OF REVENUE  
DIRECTOR'S SUITE &  
LEGAL SERVICES

REPLACE CARPET  
& PAINT  
SUITE 670 REVENUE

HARRY S. TRUMAN  
STATE OFFICE BUILDING  
301 W. HIGH ST.  
SUITE 670  
JEFFERSON CITY, MO 65101

PROJECT # 0242101  
SITE # 0001  
FACILITY # 05020

REVISION: \_\_\_\_\_  
DATE: \_\_\_\_\_  
REVISION: \_\_\_\_\_  
DATE: \_\_\_\_\_  
REVISION: \_\_\_\_\_  
DATE: \_\_\_\_\_  
ISSUE DATE: 07/17/2025

CAD DWG FILE: \_\_\_\_\_  
DRAWN BY: CMC  
CHECKED BY: BMS  
DESIGNED BY: CMC

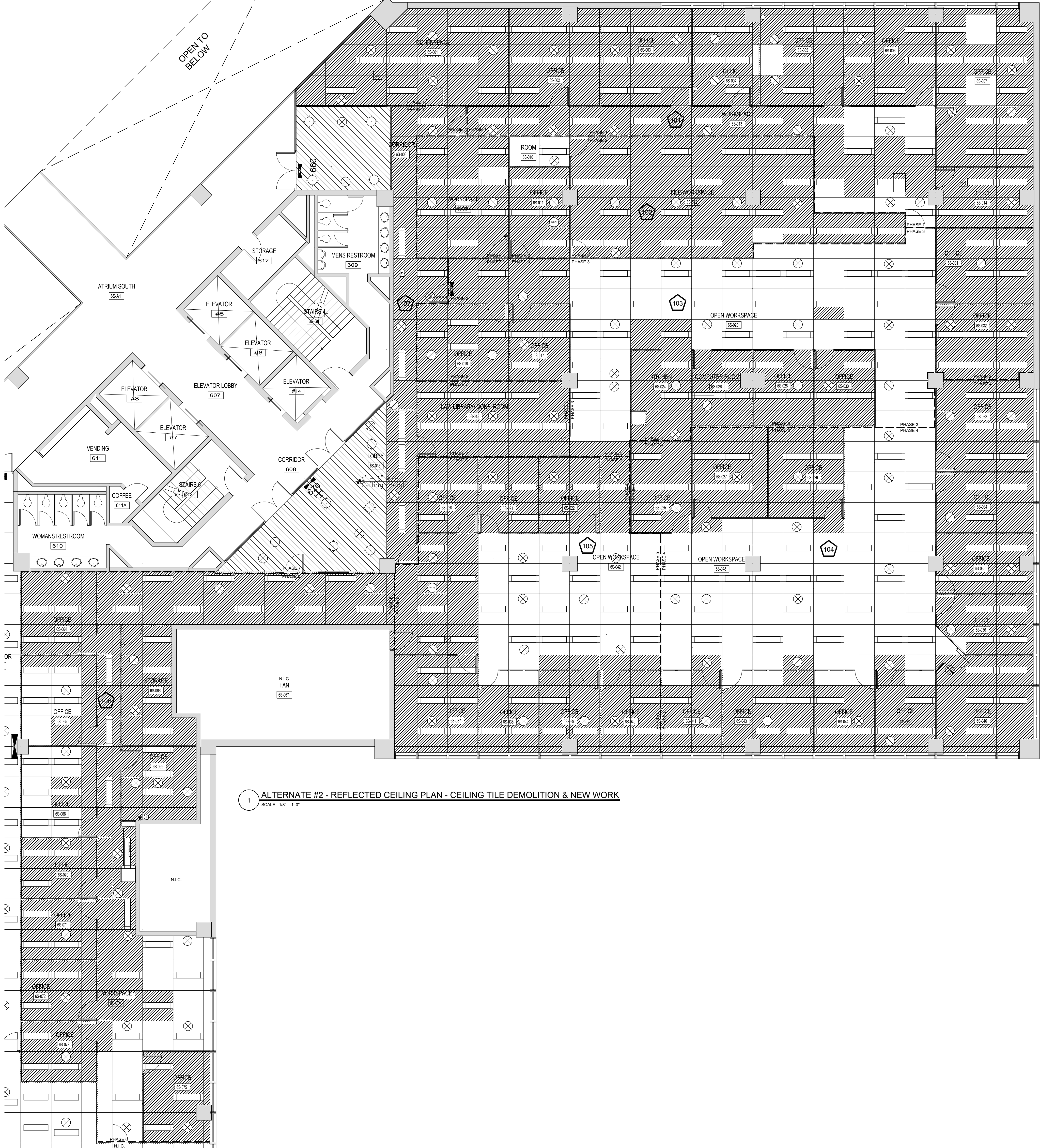
SHEET TITLE:

ALTERNATE #1 -  
PAINT LOCATION  
PLAN

SHEET NUMBER:

A-102

SHEET 4 OF 5



1 **ALTERNATE #2 - REFLECTED CEILING PLAN - CEILING TILE DEMOLITION & NEW WORK**  
SCALE: 1/8" = 1'-0"

**CEILING TILE DEMOLITION & NEW WORK GENERAL NOTES:**

1. SELECTIVELY REMOVE AND REPLACE ALL CEILING TILES SHOWING DISREPAIR, DAMAGE OR DISCOLORATION WITH MATERIALS PROVIDED BY OWNER. 5'X5' INSULATED TILES TO BE CUT DOWN FOR SMALLER FORMAT INSTALLATION.
2. DISPOSE OF ALL REFUSE TILES.

PHASING KEYNOTES:	
101	PHASE 1- SUITE 660
102	PHASE 2- SUITE 670
103	PHASE 3- SUITE 670
104	PHASE 4- SUITE 670
105	PHASE 5- SUITE 670
106	PHASE 6- SUITE 670
107	PHASE 7- SUITE 670

REFLECTED CEILING SYMBOLS:	
SYMBOL	DESCRIPTION
	1X4 LIGHT FIXTURE
	RECESSED LIGHT FIXTURE
	LIGHT SWITCH
	LIGHTED EXIT SIGN
	SPRINKLER
	FIRE ALARM/ STROBE
	THERMOSTAT
	REPLACE CEILING TILE
	CEILING TILE TO REMAIN
	SLAT CEILING TO REMAIN

WALL SYMBOL KEY:	
	- VINYL COVERED DE-MOUNTABLE WALLS
	- FIXED GYPSUM METAL STUDED WALLS

STATE OF MISSOURI  
MIKE KEHOE,  
GOVERNOR



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CAD DWG FILE: \_\_\_\_\_  
DRAWN BY: CMC  
CHECKED BY: BMS  
DESIGNED BY: CMC

SHEET TITLE:  
ALTERNATE #2 -REF.  
CEILING PLAN - CLG.  
TILE DEMOLITION &  
NEW WORK

SHEET NUMBER:  
**A-103**  
SHEET 5 OF 5