

ADDENDUM NO. 1

TO: PLANS AND SPECIFICATIONS FOR STATE OF MISSOURI

**Foundation Stabilization & Repair
General John J. Pershing Boyhood Home State Historic Site
Project No. X2520-01**

Bid Opening Date: 1:30 PM, Tuesday, November 4, 2025

Bidders are hereby informed that the construction Plans and/or Specifications are modified as follows:

SPECIFICATION CHANGES:

No Changes

DRAWING CHANGES/CLARIFICATIONS:

Sheet S-101 – Existing Conditions Foundation Plan Key Notes:

1. (REVISED) Existing Crawl Space Stone Masonry Foundation Walls To Be Carefully Demolished And Removed. Salvage All Stones For Re-Use In Recreating The Historic Appearance Of The Stone Foundation At Top of New Concrete Foundation Walls, See Arch Drawings for More Information.
~~Remaining Stones And Surplus Satisfactory Soil To Be Moved To State Owned Property Four Blocks Away At The Southeast Corner Of Myrtle Street And Ausmus Street As Directed By Owner.~~

GENERAL COMMENTS:

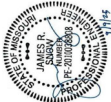
1. The Pre-Bid Meeting was held on October 21, 2025, at 10:00 AM.
2. Please contact Mandy Roberson, Contract Specialist, at 573-522-0074 or Mandy.Roberson@oa.mo.gov for questions about bidding procedures, MBE/WBE/SDVE Goals, and other submittal requirements.
3. The deadline for technical questions is October 23, 2025, at 12:00 PM.
4. Changes to, or clarification of, the bid documents are only made as issued in the addenda.
5. All correspondence with respect to this project must include the State of Missouri project number as indicated above.
6. Current Plan holders list available online at <https://www.oafmdcplanroom.com/projects/3040/details/x2520-01-foundation-stabilization-repair-general-john-pershing-boyhood-home-state-historic-site>
7. Prospective Bidders contact American Document Solutions, 1400 Forum Blvd Suite 1C, Columbia MO 65201, 573-446-7768 to order official plans and specifications.
8. **All bids shall be submitted on the bid form without additional terms and conditions, modifications, or stipulations. Each space on the bid form shall be properly filled including a bid amount for each alternate. Failure to do so will result in rejection of the bid.**
9. **MBE/WBE/SDVE participation requirements can be found in DIVISION 00. The MBE/WBE/SDVE participation goals are 0%/0%/3%, respectively. Only certified firms as of the bid opening date can be used to satisfy the MBE/WBE/SDVE participation goals for this project. If a bidder is unable to meet a participation goal, a Good Faith Effort Determination Form must be completed. Failure to complete this process will result in rejection of the bid.**

ATTACHMENTS:

1. Attendance Sheet
2. Sheet S-101

October 22, 2025

END OF ADDENDUM NO. 1



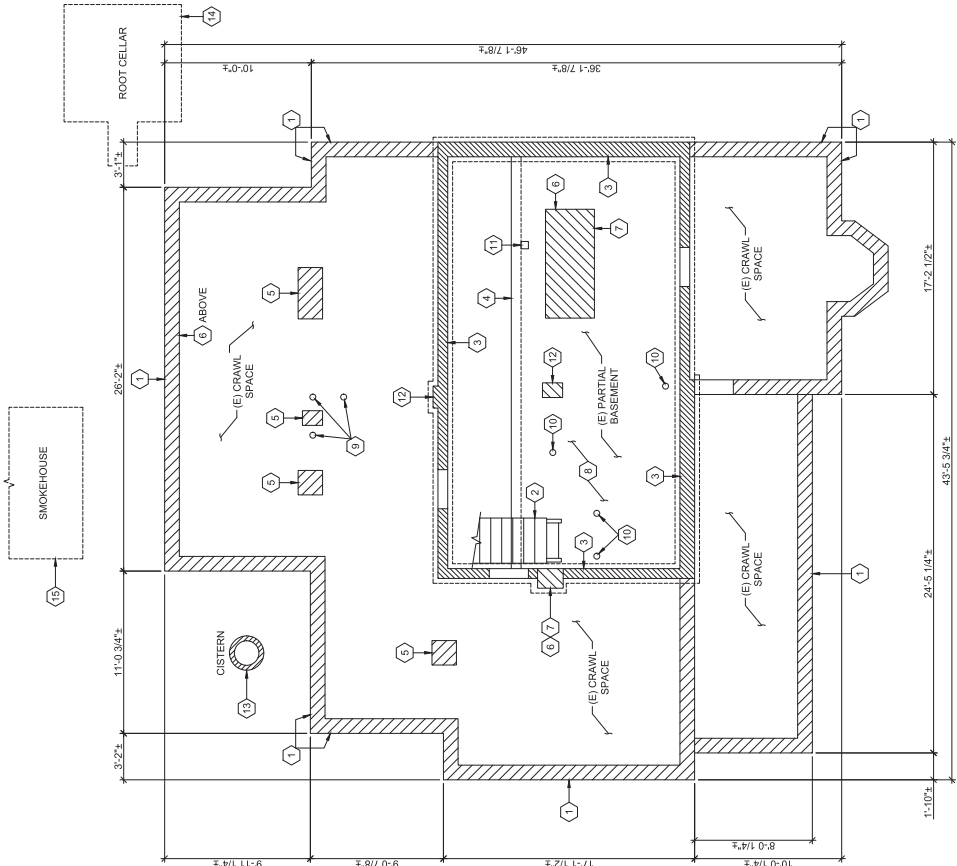
EXISTING CONDITIONS FOUNDATION PLAN KEY NOTES:

- EXISTING CRAWL SPACE STONE MASONRY FOUNDATION WALLS TO BE DEMOLISHED TO EXPOSE EXISTING CISTERN AND MASONRY STONES FOR REUSE IN RECREATING THE HISTORIC APPEARANCE OF THE STONE FOUNDATION AT TOP OF NEW CONCRETE FOUNDATION WALLS. SEE ARCH DRAWINGS FOR MORE INFORMATION. **REMAINING STONES AND SURPLUS SATISFACTION SOIL TO BE MOVED TO STATE-OWNED PROPERTY: 1701 CITY PLAZA DRIVE, SPRING, TX 77389. STREET AND ALIQUOT STREET ARE DIRECTED BY OWNER.**
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- DEMOLISH AND REMOVE EXISTING CMU WALL AND CONCRETE STRIP FOOTINGS AT PARTIAL BASEMENT AREA.
- DEMOLISH AND REMOVE EXISTING CONCRETE SLAB ON GRADE AT PARTIAL BASEMENT AREA.
- DEMOLISH AND REMOVE EXISTING CMU OR STONE MASONRY PIER IN CRAWLSPACE AREA.
- FULLY SUPPORT THE THREE EXISTING FIREPLACES AND CHIMNEYS IN THE CRAWLSPACE/BASEMENT AREA AND LIFT THE EXISTING FIREPLACES AND CHIMNEYS ABOVE THE FIRST FLOOR WITH THE REST OF THE HOME STRUCTURE. PROVIDE TEMPORARY BRACING OF CHIMNEY EXTENSIONS, GABLE FINALS, 4 LIGHTNING RODS ABOVE ROOF PRIOR TO LIFTING HOME.
- DEMOLISH EXISTING FIREPLACE CMU OR BRICK FOUNDATIONS.
- DISCONNECT AND REMOVE ALL EXISTING MECHANICAL, ELECTRICAL AND PLUMBING EQUIPMENT AND UTILITIES IN THE CRAWLSPACE/BASEMENT. SEE MEP DRAWINGS FOR ADDITIONAL INFORMATION.
- DEMOLISH EXISTING JACK STAND SUPPORTS IN CRAWLSPACE. SALVAGE JACK STAND STEELS AND PROVIDE TO OWNER.
- DEMOLISH EXISTING STEEL SHORING POSTS IN PARTIAL BASEMENT. SALVAGE SHORING POSTS AND PROVIDE TO OWNER.
- DEMOLISH AND REMOVE TIMBER SHORING POST IN PARTIAL BASEMENT AFTER EXISTING CUT-JOIST IS SUPPORTED OR REPAIRED.
- DEMOLISH AND REMOVE BRICK PIER IN PARTIAL BASEMENT. CAREFULLY DEMOLISH THE EXISTING CISTERN STRUCTURE AT THE SOUTHWEST CORNER OF THE HOME. ONLY SALVAGE THE TOP SECTION OF THE CISTERN BRICK STRUCTURE FOR RECONSTRUCTION TO MAINTAIN ITS HISTORIC LOCATION. SEE ARCH DRAWINGS FOR ADDITIONAL INFORMATION. THE EXISTING CISTERN SHALL BE RECONSTRUCTED TO BE COMPATIBLE TO REMOVE THE FIRE CISTERN DUE TO THE DEFENDING GREATER THAN THE REQUIRED EXCAVATIONS TO INSTALL THE NEW FOUNDATION. THEN THE REMAINING PORTION SHALL BE INFILLED. REMOVE ALL EXISTING SAND OR FILL. PERFORMATE BOTTOM TO ALLOW DRAINAGE PRIOR TO BACKFILLING. BACKFILL WITH APPROVED CONTACTED SOIL AS PER GEOTECHNICAL REPORT BY SPEC.
- IN ORDER TO PROVIDE ACCESS FOR EXCAVATION OF THE SITE FOR THE NEW FULL BASEMENT CONCRETE FOUNDATION WALLS, THE CONTRACTOR SHALL CAREFULLY DISASSEMBLE THE ENTIRE UNDERGROUND ROOT CELLAR AT THE NORTHWEST CORNER OF THE HOME IN ORDER TO BE ABLE TO RECONSTRUCT THE ROOT CELLAR IN THE CURRENT HISTORIC LOCATION WITH ADDITIONAL INFORMATION. SEE ARCH DRAWINGS FOR ADDITIONAL INFORMATION.
- NO CONSTRUCTION WORK IS ASSOCIATED WITH THE SMOKEHOUSE BUT ITS HISTORIC INTEGRITY MUST BE MAINTAINED. THE CONTRACTOR SHALL PROVIDE CONTRACTOR-DESIGNED TEMPORARY BRACING AND STABILIZATION OF THE ADJACENT SMOKEHOUSE STRUCTURE TO PROTECT IT FROM DAMAGE OR MOVEMENT DURING ALL CONSTRUCTION. THE CONTRACTOR SHALL PROVIDE TEMPORARY BRACING MAY BE PLACED ON THE INSIDE OR OUTSIDE OF THE SMOKEHOUSE STRUCTURE BUT SHALL LEAVE NO PERMANENT DAMAGE OR VISIBLE MARKINGS ON THE STRUCTURE AFTER THE BRACING IS REMOVED. THE CONTRACTOR MUST TAKE ALL PRECAUTIONS TO ASSURE THAT THE SMOKEHOUSE IS NOT DAMAGED DURING UNDERGROUND EXCAVATION ACTIVITIES ASSOCIATED WITH THE HOME'S NEW CONCRETE FOUNDATION OR EXISTING CISTERN REMOVAL.

PLAN NOTES:

- THE CONTRACTOR SHALL PREPARE, SECURE AND ELEVATE EXISTING CRAWL SPACE STONE MASONRY FOUNDATION WALLS TO BE DEMOLISHED TO EXPOSE EXISTING CISTERN AND MASONRY STONES FOR REUSE IN RECREATING THE HISTORIC APPEARANCE OF THE STONE FOUNDATION AT TOP OF NEW CONCRETE FOUNDATION WALLS. SEE ARCH DRAWINGS FOR MORE INFORMATION. **REMAINING STONES AND SURPLUS SATISFACTION SOIL TO BE MOVED TO STATE-OWNED PROPERTY: 1701 CITY PLAZA DRIVE, SPRING, TX 77389. STREET AND ALIQUOT STREET ARE DIRECTED BY OWNER.**
- THE LIFTING SUBCONTRACTOR SHALL BE A QUALIFIED CONTRACTOR WITH A LICENSE TO LIFT. THE CONTRACTOR SHALL PROVIDE TO THE OWNER AND ENGINEER FOR REVIEW AND APPROVAL PRIOR TO PROCEEDING WITH WORK. THE LIFTING SUBCONTRACTOR SHALL UTILIZE A UNIFIED HYDRAULIC JACKING SYSTEM TO UNIFORMLY RAISE THE STRUCTURE WITHOUT ANY SIGNIFICANT DAMAGE TO EXTERIOR OR INTERIOR EXISTING FINISHES.
- SEE SPECIFICATION 024310 - STRUCTURAL RAISING FOR REQUIREMENTS FOR LIFTING/LOWERING OF THE STRUCTURE.
- FOR THE CONTRACTOR'S INFORMATION, THE EXISTING STRUCTURE IS DESCRIBED BELOW:
 - THE MAIN SECTION IS THE ORIGINAL HOME THAT WAS BUILT IN 1858 AND IS A TEE-SHAPED TWO-STORY WOOD FRAME STRUCTURE SUPPORTED ON A STONE MASONRY CRAWL SPACE FOUNDATION THAT WAS LATER ENLARGED TO FORM A PARTIAL BASEMENT SURROUNDED BY CMU FOUNDATION WALLS. THE EXISTING CRAWL SPACE FOUNDATION WAS RAISED TO ROUGH SAWN PINE JOISTS AND HEADERS AND NATIVE OAK WALL STUDS. NOTE THAT THE ORIGINAL HOUSE FIRST FLOOR EXTERIOR WALLS REPORTEDLY INCLUDE BRICK INFILL BETWEEN THE WOOD STUDS EXTENDING ONLY TO THE SECOND FLOOR.
 - A SECOND SECTION IS A ZEE-SHAPED ONE-STORY ADDITION THAT WAS ADDED ALONG THE WEST SIDE OF THE MAIN SECTION. THIS ADDITION WAS BUILT ON A STONE MASONRY CRAWL SPACE FOUNDATION. IT IS UNKNOWN IF THE EXTERIOR WALLS OF THE ADDITION CONTAIN BRICK INFILL BETWEEN THE WOOD STUDS.
 - A ONE-STORY COVERED PORCH IS LOCATED ALONG THE EAST SIDE OF THE HOME AND IS SUPPORTED ON A STONE MASONRY CRAWL SPACE FOUNDATION.
- INDICATES KEY NOTE

ALL UNDERGROUND UTILITY LOCATIONS ARE SHOWN. THE CONTRACTOR SHALL VERIFY PRIOR TO ANY EXCAVATION WORK.



FOUNDATION PLAN - EXISTING CONDITIONS
SCALE: 1/4"=1'-0"

THE DIMENSIONS AND ELEVATIONS SHOWN ARE NOT AS-BUILT DIMENSIONS. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO FIELD VERIFY ALL DIMENSIONS, ELEVATIONS AND MEMBER SIZES AS REQUIRED PRIOR TO BEGINNING CONSTRUCTION, FABRICATION, ETC.