ADDENDUM NO. 1

TO: PLANS AND SPECIFICATIONS FOR STATE OF MISSOURI

Foundation Stabilization & Repair General John J. Pershing Boyhood Home State Historic Site Project No. X2520-01

Bid Opening Date: 1:30 PM, Tuesday, November 4, 2025

Bidders are hereby informed that the construction Plans and/or Specifications are modified as follows:

SPECIFICATION CHANGES:

No Changes

DRAWING CHANGES/CLARIFICATIONS:

Sheet S-101 – Existing Conditions Foundation Plan Key Notes:

 (REVISED) Existing Crawl Space Stone Masonry Foundation Walls To Be Carefully Demolished And Removed. Salvage All Stones For Re-Use In Recreating The Historic Appearance Of The Stone Foundation At Top of New Concrete Foundation Walls, See Arch Drawings for More Information. Remaining Stones And Surplus Satisfactory Soil To Be Moved To State Owned Property Four Blocks Away At The Southeast Corner Of Myrtle Street And Ausmus Street As Directed By Owner.

GENERAL COMMENTS:

- 1. The Pre-Bid Meeting was held on October 21, 2025, at 10:00 AM.
- 2. Please contact Mandy Roberson, Contract Specialist, at 573-522-0074 or Mandy.Roberson@oa.mo.gov for questions about bidding procedures, MBE\WBE\SDVE Goals, and other submittal requirements.
- 3. The deadline for technical questions is October 23, 2025, at 12:00 PM.
- 4. Changes to, or clarification of, the bid documents are only made as issued in the addenda.
- 5. All correspondence with respect to this project must include the State of Missouri project number as indicated above.
- 6. Current Plan holders list available online at https://www.oafmdcplanroom.com/projects/3040/details/x2520-01-foundation-stabilization-repair-general-john-pershing-boyhood-home-state-historic-site
- 7. Prospective Bidders contact American Document Solutions, 1400 Forum Blvd Suite 1C, Columbia MO 65201, 573-446-7768 to order official plans and specifications.
- 8. All bids shall be submitted on the bid form without additional terms and conditions, modifications, or stipulations. Each space on the bid form shall be properly filled including a bid amount for each alternate. Failure to do so will result in rejection of the bid.
- 9. MBE/WBE/SDVE participation requirements can be found in DIVISION 00. The MBE/WBE/SDVE participation goals are 0%/0%/3%, respectively. Only certified firms as of the bid opening date can be used to satisfy the MBE/WBE/SDVE participation goals for this project. If a bidder is unable to meet a participation goal, a Good Faith Effort Determination Form must be completed. Failure to complete this process will result in rejection of the bid.

ATTACHMENTS:

- 1. Attendance Sheet
- 2. Sheet S-101

October 22, 2025

END OF ADDENDUM NO. 1

ATTACHMENT 1 ATTENDANCE SHEET

Pre-Bid Meeting Attendance Sheet

Foundation Stabilization & Repair General John J. Pershing Boyhood Home State Historic Site Laclede, MO

Project No. X2520-01

Name & Title	Company Name, Type of Contracting	Phone	E-mail Address
Philip Akin Project Manager	OA, FMDC	573-301-1423	phillip.akin@oa.mo.gov
Adam Enboden Construction Representative	OA, FMDC	573-616-9290	adam.enboden@oa.mo.gov
Jim Snow Principal Engineer	ABS Consulting, Structural Engineer	636-875-0118	jsnow@absconsulting.com
Angelo Logan Historic Architect	Logan Architects Atelier, Architect	573-310-8686	angelo.logan@loganarchitectsatelier.com
Brett Barner Northern Region Deputy	MSP, Northern Region	660-734-1707	bott-barner@dar.m.gov
Ryan Didier Superhtendent	BROWN and Root	816-890-0675	ryan. didier & brownandroot. com
Brian Lucas Pm/superintendent	weldow Bulders	660 - 247 - 3207	Branowaldonbuilt, com
Jana Kenne-Park Spec.	MSP-Persling Home	640-963-2525	Sava, Kenne e dur. mo. zov
Denzie RHEANEY	MSP - PRASHING Home	660-349-6461	denzil. heave @dar. Mo, gor
Robert Simpson	DKR-MSA	573-751-5390	robent, simpson edur, mongal

Philip Woodward	Perstang Boyton Home	
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FOUNDATION PLAN - EXISTING CONDITIONS SCALE: 1/4"=1'-0"

- 1. THE CONTRACTOR SHALL PREPARE, SECURE AND ELEVATE
 THE FIRST AND SECONDS TO STREAD FOR THE PROSTORY
 WOOD FRAMED HISTORIES OF THE MOSTORY
 TEMPORANT SECURE THE STRUCTURE TO ALLOW ACCESS
 FOR THE EXSTRING CRAME SPACE AND PARTIAL BASEMENT
 FOUNDATION WILLS AND FOOTINGS TO BE COMPRETELY
 DEMOLSHEIDREMOVED AND THE RINE FULL BASEMENT AND
 PORCH CRAMILSPACE AREA TO BE CONSTRUCTED.
 - 2. THE LIFTING SUBCONTRACTOR SHALL BE A QUALIFED BUILDING MOVER AND BEAKL SUBMIT QUALIFECTIONS TO THE OWNER AND ENGINEER FOR RENURY AND APPROVAL PROJOCY PROCESSEDING WITH WORK IT LIFTING SUBCONTRACTOR SHALL LITLIZE A UNITED HYDRALLUC JACKING SYSTEM TO UNIFORMLY RAISE THE STRUCTURE WITHOUT AND SOMEDENT DAMAGE TO EXTENDING RINGS FINISHES.
- 3. SEE SPECIFICATION 024316 STRUCTURAL RAISING FOR ADDITIONAL REQUIREMENTS FOR LIFTING/LOWERING OF THE STRUCTURE
 - I. FOR THE CONTRACTOR'S INFORMATION, THE EXISTING STRUCTURE IS DESCRIBED BELOW:
- a. THE MAIN SECTION IS THE ORIGINAL HOME THAT WAS BULLT IN 1883 MD IS THE GENGHON LOOS TORY WOOD FRAME STRUCTURES SUPPORTED ON A STONE MASONEY CRAWL SEACE FOUNDATION THAT WAS LITTER ENLARGED TO FORM A PARTIAL BASEMENT SURROUNDED BY CAME FOUNDATION WALLS. THE BULLDING FRAME IS CONSTRUCTED PRIMARILY OF ROUGH SAMP PINEL DISTS AND HIGHOSES AND MATTOR OAK WALL STUDS AND HIGHOSES AND MATTOR OAK WALL STUDS AND HIGHOSE AND DATIONED THE ORIGINAL HOUSE FIRST FOOR EXTERIOR WALL STEPORTEDLY INCLUDE BRICK INFILL BETWEEN THE WOOD STUDS EXTENDING ONLY TO THE SECOND FLOOR.
 - b. A SECOND SECTION A ZEE SAMED OWE STORY
 ADDITION THAT WAS ADDED ALONG THE WEST SIDE OF
 THE ORIGINAL HOME SOMETHINE PROOF TO 1833. THE
 ADDITION IS ALSO SOMETHINE PROOF TO 1833. THE
 ADDITION IS ALSO SUPPORTED ON A STORE MASONINY
 CHARLES FOUNDATION. IT IS UNKNOWN IF THE
 EXTERIOR WALLS OF THE ADDITION CONTAIN BRICK
 INFILE BETWEEN THE MODO STUDIS.
 - e. A ONE-STORY COVERED PORCH IS LOCATED ALONG THE EAST SIDE OF THE HOME AND IS SUPPORTED ON A STONE MASONRY CRAWL SPACE FOUNDATION.
 - (X) INDICATES KEY NOTE

ALL UNDERGROUND UTILITY LOCATIONS
MUST BE FIELD VERIFIED BY CONTRACTOR
PRIOR TO ANY EXCAVATION WORK

1 EMSTING CRAWIL SPACE STONE MASONRY FOUNDATION WALLS
TO BE CARFELLY PORIOLISHED MOY BENANCE SALVAGEA.
TO BE CARFELLY FOUNDATION AT TO SET METORIC APPEARANCE
OF THE STONE PORIOLATION AT TO SET MAN MORE
FOUNDATION WALLS. SEE ARCH DRAWINGS FOR MORE
INCOMING THE MASON AT THE SETUREST CONTINUES.
SHERICKELD SET MAY AT THE SETUREST CONTINUES OF MARCH
STREET AND AURANG STREET AS DIRECTED OF MATER
STREET AND AURANG STREET. AS DIRECTED OF WARRE
2. DEMOLISH AND PRINCIPLES TO STATE OWNERS.

FROM EXISTING FIRST FLOOR TO PARTIAL BASEMENT.

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- 3. DEMOLISH AND REMOVE EXISTING CMU WALL AND CONCRETE STRIP FOOTINGS AT PARTIAL BASEMENT AREA.
- 4. DEMOLISH AND REMOVE EXISTING CONCRETE SLAB ON GRADE AT PARTIAL BASEMENT AREA.
-). DEMOLISH AND REMOVE EXISTING CMU OR STONE MASONRY PIER IN CRAWL SPACE AREA.
 - 6. FULLY SUPPORT THE THREE EXISTING FIREPLACES AND CHIMNEYS IN THE CAMMISPACED SARSHEM, RAGE AND URIT THE EXISTING FIREPLACES AND CHIMNEYS ABOVE THE FIRST FLOOR WITH THE REST OF THE HOME STRUCTURE. PROVIDE TEMPORARY BACAING OF CHIMNEY EXTENSIONS, GABLE FINLAS, & LIGHTINNS RODS ABOVE ROOF PRONT TO LIFTING FINDE.
 - . DEMOLISH EXISTING FIREPLACE CMU OR BRICK FOUNDATIONS. B. DISCONNECT AND REMOVE ALL EXISTING MECHANICAL, ELECTRICAL, AND PLUMBING EQUIPMENT AND UTILITIES IN THE CRAWLSPACES AND PARTIAL BASEMENT. SEE MEP DRAWINGS FOR ADDITIONAL INFORMATION.
 - 9. DEMOLISH EXISTING JACK STAND SUPPORTS IN CRAWLSPACE. SALVAGE JACK STAND SUPPORTS AND PROVIDE TO OWNER.
- 10. DEMOLISH EXISTING STEEL SHORING POSTS IN PARTIAL BASEMENT. SALVAGE SHORING POSTS AND PROVIDE TO OWNER. 11. DEMOLISH AND REMOVE TIMBER SHORING POST IN PARTIAL BASEMENT AFTER EXISTING CUT JOIST IS SUPPORTED OR REPAIRED.
 - 12. DEMOLISH AND REMOVE BRICK PIER IN PARTIAL BASEMENT.
- 13. CAREFLLLY DEMOLSH THE EVENTRIC GYSTERS RETUCTURE AT THE SOLTHWIST COPARER OF THE HOME CAVITY SALVAGE THE TOP SOLTHWIST COPARER OF THE HOME CAVITY SALVAGE THE TOP SECTION OF THE CSTERN BACKER STRUCTURES THE CHECKNIST THE HESTORY BY THE PROPRIATION THE EXISTING DEPTH OF THE CSTERN IS UNKNOWN. IF CONTRICTOR IS UNABLE TO REMOVE THE LEMME CSTERN IS UNKNOWN. IF CONTRICTOR IS UNABLE TO REMOVE THE LEMME CSTERN LOWER THE DEPTH CSTERN IS UNKNOWN. IF CONTRICTOR SHALL BE INSTITUTED REMOVE ALL XISTING SAND OF FILL EFFECTABLE BOTTON TO ALL XISTING SAND OF FILL PREFORM THE BOTTON TO ALL XISTING SAND OF THE LAW CANDAL THE HER PROPRIATE BOTTON TO ALL XISTING SOLT SOLT SETS RECTENHICAL WAS SPECIFICATIONS.
 - 14. IN ORDER TO PROVIDE ACCESS FOR EXCAVATION OF THE SITE FOR THE NATE (POLINATION WALLS, THE CONTRACTOR SHALL CAREFULL) DISASSENBLE THE ENTIRE UNDERGROUND FOOT TELLAR AT THE MONTHEST CORNER OF THE HOME IN ORDER FOR SHELE TO RECONSTRUCT THE ROOT CELLAR IN THE CUBREN HISTORIC LOCATION WITH THE ROOT MISTORIC LOCATION WITH MISTORICAL COMPANIES FOR A MODIFIED MISTORICAL CONTROL SHAPPANINGS FOR ADDITIONAL INFORMATION.
- 16. NO CONSTRUCTION WORK IS ASSOCIATED WITH THE SOMCHAUGHEE BUTTS HATFORD INTEGRITY MUST BE MANTANED. THE CONTRACTOR SHALL PROVIDE CONTRACTOR SERVEN PROVIDE CONTRACTOR SERVEN PROVIDE STABLESTON OF THE ADJACKENT SMOCHAUGES STRUCTURE TO PROTECT IT FROM DAMAGE OR MOVEMENT DURING SALL. SMOKEHOUSE STRUCTURE BUT SHALL LEAVE NO PERMANENT DAMAGE OF WISIBLE MANNENS ON THE RISTICUTURE FAFTET THE BREACHING IS FREMOCED. THE CONTRACTOR MILST TAKE ALL PREACHING IS FREMOUSE THE CONTRACTOR MILST TAKE ALL PREACHING IS TO ASSURE THAT THE SMOKEHOUSE FOUNDATIONS ARE NOT UNDERMINED DURING EXCANTION ACTUMINES ASSOCIATED WITH THE HOMES NEW CONCRETE. CONSTRUCTION ACTIVITIES. THE CONTRACTOR'S TEMPORARY BRACING MAY BE PLACED ON THE INSIDE OR OUTSIDE OF THE

STATE OF MISSOURI MIKE KEHOE, GOVERNOR



ABS Consulting MO State Certificate of Authority #2004000080
1701 City Plaza Drive Spring, 1X 77389 Phone (658) 875-0118 www.abs-group.com

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MANN Architectural Engineering, LLC Certificate of Authority E201000669 1512 Polarie Drive Elleville, MO 630 (636) 527-4641

OFFICE OF ADMINISTRATION DIVISION OF FACILITIES MANAGEMENT,

DESIGN AND CONSTRUCTION

DEPARTMENT OF NATURAL RESOURCES

PERSHING BOYHOOD HOME SHS FOUNDATION STABILIZATION & REPAIR

LACLEDE, MISSOURI

PROJECT # X2520-01 FMDC SITE # 5112

FACILITY # (HOME) 7815112001 (ROOT CELLAR) 7815112010

REVISION:
REVISION:
DATE:
REVISION:
REVISION:
REVISION: 10.222.025
DATE: 09.09.2025

CAD DWG FILE:S-101 DRAWN BY: CPG CHECKED BY: IRS DESIGNED BY: IRS SHEET TITLE:

FOUNDATION EXISTING PLAN

SHEET NUMBER:

S-101

SHEET 06 OF 18 BID DOCUMENTS SUBMITTAL - 09/09/2025

THE DIMENSIONS AND ELEVATIONS SHOWN ARE NOT AS BUILT DIMENSIONS. IT IS THE RESPONSIBLY OF THE CONTRACTORY TO BE DELIVERY LIDINESSIONS ELEVATIONS AND MESPONSIBLES SLEEK AS RECURED PRIORY O BEGINNING CONSTRUCTION, FABRICATION, ETC.